



Know what's below.  
Call before you dig.

Exhibit C



SITE NAME: FRESHWATER CREEK  
SITE NUMBER: US-VA-5149

VA ROUTE 522  
LOUISA, VA 23093  
LOUISA COUNTY

SITE INFORMATION

PROJECT DESCRIPTION:	RAWLAND: PROPOSED INSTALLATION OF TELECOMMUNICATIONS TOWER AND RELATED EQUIPMENT WITHIN SECURED COMPOUND.
SITE ADDRESS:	VA ROUTE 522 LOUISA, VA 23093
LATITUDE (NAD 83): LONGITUDE (NAD 83):	38° 03' 8.0844" (38.0522457°) 77° 52' 51.3437" (-77.8809288°)
GROUND ELEVATION:	400.0± AMSL
JURISDICTION:	LOUISA COUNTY
ZONING:	A2 (AGRICULTURAL)
PARCEL ID:	28 97F
PARCEL AREA:	772.32± ACRES
PARCEL OWNER:	GILMAN, WILLIAM H & MICHELLE 13280 FERN RUN RD MONTPELIER, VA 23192
TOWER OWNER:	VERIZON WIRELESS 1831 RADY COURT RICHMOND, VA 23222
MAGISTERIAL DISTRICT:	DISTRICT 16
VOTING DISTRICT:	400 - MINERAL
STRUCTURE TYPE:	MONOPOLE
HEIGHT OF STRUCTURE:	195.0± AGL
OVERALL HEIGHT OF STRUCTURE:	199.0± AGL
TOWER FALL ZONE:	150'
TOTAL LEASE AREA:	5,625± SQ. FT.
TOTAL AREA OF DISTURBANCE:	6,750± SQ. FT.
POWER PROVIDER:	RAPPAHANNOCK ELECTRIC (540) 898-8500
TELCO PROVIDER:	CENTURY LINK (866) 642-0444

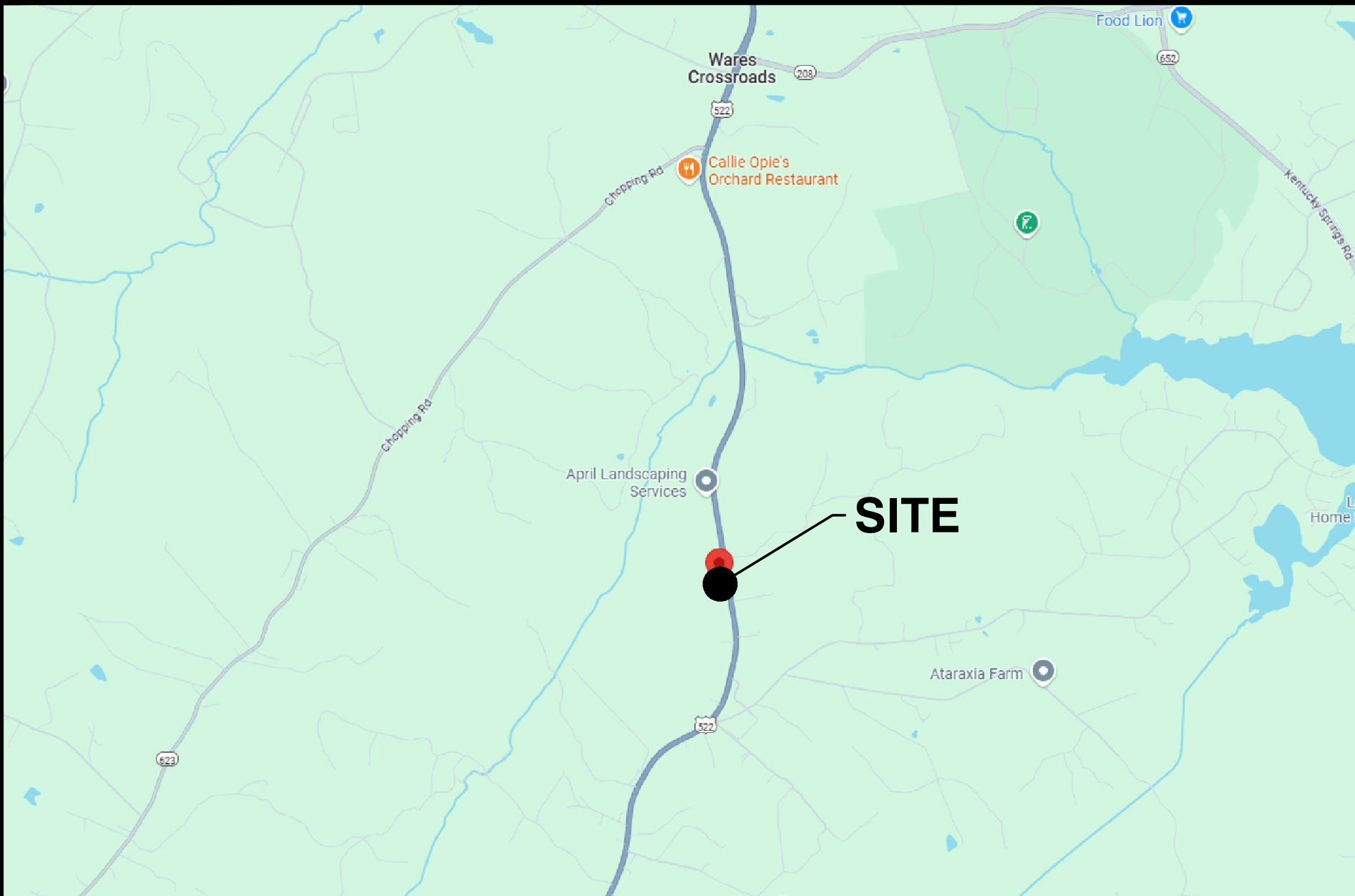
EMERGENCY INFORMATION:

FIRE & RESCUE DEPARTMENT:	(540) 894-5660
POLICE OFFICE:	(540) 967-1234

PROJECT TEAM

PROJECT MANAGEMENT FIRM:	GDN NATHAN HOLLAND (757) 305-8420
ENGINEERING FIRM:	NB+C ENGINEERING SERVICES, LLC. 120 EASTSHORE DRIVE, SUITE 300 GLEN ALLEN, VA 23059 (804) 548-4079

VICINITY MAP



DIRECTIONS

FROM RICHMOND INTERNATIONAL AIRPORT:  
START EAST AND USE THE RIGHT LANE TO MERGE ONTO S AIRPORT DRIVE; USE THE RIGHT LANE TO MERGE ONTO I-64 W VIA THE RAMP TO I-95 / RICHMOND; MERGE ONTO I-64 W AND IN 10.3 MILES USE THE RIGHT 2 LANES TO TURN SLIGHTLY RIGHT TO STAY ON I-64 W; IN 27.4 MILES TAKE EXIT 159 FOR US-522 TOWARD GUM SPRING / MINERAL; IN 0.3 MILES TURN RIGHT ONTO U-522 N; IN 14.6 MILES TURN LEFT ONTO US-33 W / US-522 N; IN 0.6 MILES TURN RIGHT ONTO US-522 N / PENDLETON RD; IN 3.2 MILES CONTINUE STRAIGHT ONTO MINERAL AVE; IN 0.7 MILES TURN RIGHT ONTO E 1ST ST AND THEN LEFT ONTO U-522 N / LOUISA AVE; IN 3.4 MILES THE DESTINATION WILL BE ON THE LEFT.

CODE COMPLIANCE

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.
- 2021 VIRGINIA CONSTRUCTION CODE
  - 2020 NATIONAL ELECTRICAL CODE
  - 2021 NFPA 101, LIFE SAFETY CODE
  - 2021 VIRGINIA STATEWIDE FIRE PREVENTION CODE
  - AMERICAN CONCRETE INSTITUTE
  - AISC MANUAL OF STEEL CONSTRUCTION 15TH EDITION
  - ANSI/TIA-222-H
  - TIA 607
  - INSTITUTE FOR ELECTRICAL & ELECTRONICS ENGINEER 81
  - IEEE C2 NATIONAL ELECTRIC SAFETY CODE LATEST EDITION
  - TELCORDIA GR-1275
  - ANSI/T 311

APPROVAL BLOCK

		APPROVED	APPROVED AS NOTED	DISAPPROVED /REVISE
VERTICAL BRIDGE	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONSTRUCTION MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ZONING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEERING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

DRAWING INDEX

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DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE FORMATTED TO BE SCALED AT FULL SIZE (22"X34") AND MAY NOT SCALE WHEN PRINTED AT OTHER SIZES. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICE TO PREVENT STORM WATER POLLUTION DURING CONSTRUCTION.

ENGINEERING FIRM



APPLICANT



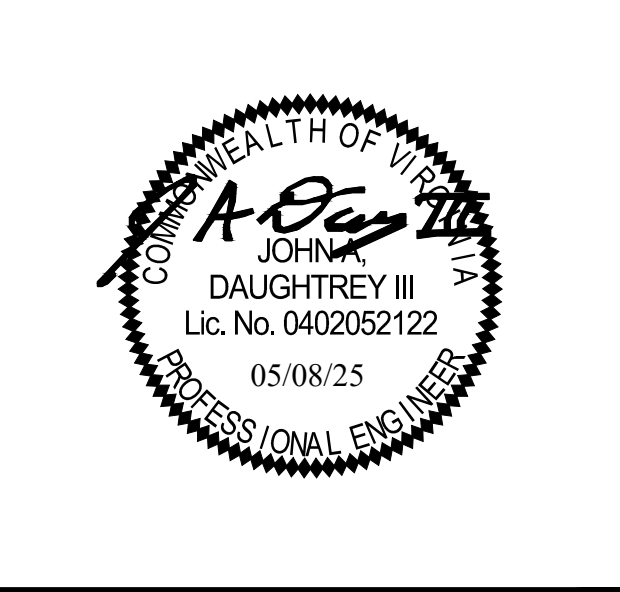
SITE INFORMATION

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VERIZON RAWLAND  
SITE #: US-VA-5149  
NB+C PROJECT #: 100912  
VA ROUTE 522  
LOUISA, VA 23093  
LOUISA COUNTY

DESIGN RECORD

REV	DATE	DESCRIPTION	BY
2	05/08/25	REVISED	KLB
1	03/24/25	REVISED	KLB
0	03/12/25	FINAL ZDS	AA
A	02/24/25	PRELIMINARY ZDS	AA

PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VIRGINIA PROFESSIONAL ENGINEER  
LICENSE #0402052122

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

SITE ACTIVITY REQUIREMENTS:

1.

PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AS CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
2.

ALL CONSTRUCTION MEANS AND METHODS, INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBLY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREON, AND SHALL MEET ANIS/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
3.

ALL SITE WORK TO COMPLY WITH OAS-STD-10068 "INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES" STANDARD FOR INSTALLATION OF MOUNTS AND APPURTENANCES, AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
4.

IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
5.

ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
6.

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
7.

THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
8.

ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
9.

ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
10.

CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
11.

ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, TOWER OWNER AND/OR LOCAL UTILITIES.
12.

THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
13.

THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
14.

THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
15.

THE AREAS OF THE OWNERS PROPERTY DISTURBED THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
16.

CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE N CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
17.

THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
18.

CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
19.

CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
20.

NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GROUNDING NOTES:

1.

ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATIONS, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2.

THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81 STANDARDS) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3.

THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4.

METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5.

METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6.

EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 AWG BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7.

CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK. CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8.

ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9.

ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10.

USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11.

EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12.

ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13.

COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14.

ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15.

APPROVED ANTIOXIDANT COATINGS (I.E. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16.

ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17.

MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18.

BOND ALL METALLIC OBJECTS WITHIN 6FT OF MAIN GROUND RING WITH (1) #2 AWG BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19.

GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CUPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED, WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (I.E., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20.

ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 AWG BARE SOLID TINNED COPPER N 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21.

BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN #2/0 AWG COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY).

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1.

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AC 301, AC 318, ACI 338, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2.

UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 PSF.
3.

ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL PASS FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90 DEGREE FAHRENHEIT AT TIME OF PLACEMENT.
4.

CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
5.

ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615, ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90° HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (FY) OF STANDARD DEFORMED BARS ARE AS FOLLOW:  
#4 BARS AND SMALLER.....40 KSI  
#5 BARS AND LARGER.....60 KSI
6.

THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:  
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH..... 3"  
CONCRETE EXPOSED TO EARTH OR WEATHER:  
#6 BARS AND LARGER.....2"  
#5 BARS AND SMALLER.....1-1/2"  
7. CONCRETE NOT EXPOSED TO EARTH OR WEATHER:  
SLAB AND WALLS.....3/4"  
BEAMS AND COLUMNS.....1-1/2"
8.

A TOOLED EDGE OR A 3/4 CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

GENERAL NOTES:

1.

THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. ITS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
2.

THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING, FRAMEWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
3.

NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
4.

SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS.
5.

IF ITS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE
6.

PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE TOWER OWNER.
7.

ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8.

UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9.

IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
10.

CONTRACTOR IS TO PERFORM A SITE INVESTIGATION AND IS TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN.
11.

THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE TOWER OWNER.
12.

CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
13.

CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.

ENGINEERING FIRM

NB+C™

TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.

120 EASTSHORE DRIVE, SUITE 300

GLEN ALLEN, VA 23059

(804) 548-4079

APPLICANT

verizon

1831 RADY COURT

RICHMOND, VA 23222

SITE INFORMATION

FRESHWATER CREEK

VERIZON RAWLAND

SITE #: US-VA-5149

NB+C PROJECT #: 100912

VA ROUTE 522

LOUISA, VA 23093

LOUISA COUNTY

DESIGN RECORD

REVISIONS			
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REV	DATE	DESCRIPTION	BY

PROFESSIONAL STAMP

COMMONWEALTH OF VIRGINIA

*A. Daughtrey III*

JOHN A. DAUGHTREY III

Lic. No. 0402052122

05/08/25

PROFESSIONAL ENGINEER

ENGINEER

JOHN A. DAUGHTREY III, P.E.

VIRGINIA PROFESSIONAL ENGINEER

LICENSE #0402052122

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

T-2

THIS EXHIBIT DOES NOT CONSTITUTE A BOUNDARY SURVEY  
AND IS FOR THE EXPRESS PURPOSE OF SHOWING PROPOSED LEASE AREAS.

LEGAL DESCRIPTION OF A 30' ACCESS & UTILITIES EASEMENT

A 30' ACCESS AND UTILITIES EASEMENT OVER AND ACROSS PARCEL A1, AS SHOWN IN PLAT BOOK 8 AT PAGE 2784, OF RECORD IN THE CLERK OF THE CIRCUIT COURTS OFFICE, LOUISA COUNTY, VIRGINIA; LYING ALONG THE WESTERLY RIGHT OF WAY OF US ROUTE 522, LOCALLY KNOWN AS ZACHARY TAYLOR HIGHWAY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT AN IRON PIN FOUND AT THE SOUTHEASTERLY MOST CORNER OF LOT 1, RAVEN WOODS SUBDIVISION AS SHOWN ON SAID PLAT; SAID IRON PIN LIES ALONG THE WESTERLY RIGHT OF WAY OF SAID US ROUTE 522; THENCE ALONG SAID RIGHT OF WAY S 09°38'54" E A DISTANCE OF 1058.43' TO A POINT BEING THE TRUE POINT AND PLACE OF BEGINNING;

THENCE CONTINUING ALONG SAID RIGHT OF WAY S 09°38'54" E A DISTANCE OF 30.00' TO A POINT;  
THENCE OVER AND ACROSS PARCEL A1 S 80°21'06" W A DISTANCE OF 70.12' TO A POINT;  
THENCE N 47°05'30" W A DISTANCE OF 77.93' TO A POINT;  
THENCE N 09°38'54" W A DISTANCE OF 85.17' TO A POINT;  
THENCE N 80°21'06" E A DISTANCE OF 30.00' TO A POINT;  
THENCE S 09°38'54" E A DISTANCE OF 75.00' TO A POINT;  
THENCE S 47°05'30" E A DISTANCE OF 52.95' TO A POINT;  
THENCE N 80°21'06" E A DISTANCE OF 55.31' TO A POINT WHICH IS THE TRUE POINT AND PLACE OF BEGINNING, HAVING AN AREA OF 6,247 SQUARE FEET OR 0.143 ACRES.

LEGAL DESCRIPTION OF A 75' x 75' LESSEE LAND SPACE

A 75' x 75' LESSEE LAND SPACE ON PARCEL A1, AS SHOWN IN PLAT BOOK 8 AT PAGE 2784, OF RECORD IN THE CLERK OF THE CIRCUIT COURTS OFFICE, LOUISA COUNTY, VIRGINIA; LYING ALONG THE WESTERLY RIGHT OF WAY OF US ROUTE 522, LOCALLY KNOWN AS ZACHARY TAYLOR HIGHWAY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT AN IRON PIN FOUND AT THE SOUTHEASTERLY MOST CORNER OF LOT 1, RAVEN WOODS SUBDIVISION AS SHOWN ON SAID PLAT; SAID IRON PIN LIES ALONG THE WESTERLY RIGHT OF WAY OF SAID US ROUTE 522; THENCE ALONG A TIE LINE S 02°32'02" E A DISTANCE OF 948.70' TO A POINT BEING THE TRUE POINT AND PLACE OF BEGINNING;

THENCE S 09°38'54" E A DISTANCE OF 75.00' TO A POINT;  
THENCE S 80°21'06" W A DISTANCE OF 75.00' TO A POINT;  
THENCE N 09°38'54" W A DISTANCE OF 75.00' TO A POINT;  
THENCE N 80°21'06" E A DISTANCE OF 75.00' TO A POINT BEING THE TRUE POINT AND PLACE OF BEGINNING, HAVING AN AREA OF 5,625 SQUARE FEET OR 0.129 ACRES.

PROPOSED 195' MONOPOLE  
LAT: 38°03'08.0844"  
LONG: 77°52'51.3437"  
ELEV. 400.0(NAVD 88)

N/F  
WILLIAM H. & MICHELLE GILMAN  
D.B. 1247, PG. 133  
TAX PARCEL 28-97  
PARCEL A1

75' x 75' LESSEE  
LAND SPACE

LESSEE 30' ACCESS &  
UTILITIES EASEMENT

P.O.B.  
LEASE AREA

APPROXIMATE 40' RAPPAHANNOCK  
ELEC. COOP.  
D.B. 404, PG. 203

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 09°38'54" E	30.00'
L2	S 80°21'06" W	70.12'
L3	N 47°05'30" W	77.93'
L4	N 09°38'54" W	85.17'
L5	N 80°21'06" E	30.00'
L6	S 09°38'54" E	75.00'
L7	S 47°05'30" E	52.95'
L8	N 80°21'06" E	55.31'
L9	S 09°38'54" E	75.00'
L10	S 80°21'06" W	75.00'
L11	N 09°38'54" W	75.00'
L12	N 80°21'06" E	75.00'

N  
S  
P.C.S. NAD 83(2011)SOUTH ZONE

LEGEND

LESSEE LAND SPACE - - - - -

LESSEE ACCESS - - - - -

R/W & PROPERTY LINE - - - - -

TIE LINE - - - - -

Q PUBLIC ROAD - - - - -

EXHIBIT NOTES

1. TOPOGRAPHIC SURVEY PERFORMED BY TIM FALLON LAND SURVEYING, PLLC  
15139 CARROLLTON, VIRGINIA, 23314. 757-837-2919.  
SURVEY DATE: AUGUST 5, 2024.

2. COORDINATES AND ELEVATIONS SHOWN WERE ESTABLISHED USING KINEMATIC GPS  
OBSERVATIONS, PROVIDED THROUGH THE TOPNET LIVE GEODETIC CONTROL NETWORK.  
VERTICAL DATUM - NAVD 88  
HORIZONTAL REFERENCE FRAME - NAD 83(2011)  
DISTANCES SHOWN ARE ON THE U.S. SURVEY FOOT

3. NO SUB-SURFACE INVESTIGATION WAS PERFORMED BY TIM FALLON LAND SURVEYING, PLLC  
THIS EXHIBIT DOES NOT GUARANTEE THE "EXISTENCE OR NONEXISTENCE" OF  
UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION OR EXCAVATION, CONTACT  
MISS UTILITY AT 1-800-552-7001 TO CONFIRM THE LOCATION OR EXISTENCE OF  
UNDERGROUND UTILITIES.

4. THIS EXHIBIT WAS DONE WITH THE BENEFIT OF A TITLE REPORT BY TOWER TITLE & CLOSING,  
DATED JULY 17, 2024, VERTICAL BRIDGE FILE #US-VA-5194 TOWER AGENCY, LLC FILE #VTB-185176-C.  
5. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

6. THIS EXHIBIT DOES NOT REPRESENT A BOUNDARY SURVEY. THE RIGHT-OF-WAY,  
PROPERTY LINE AND/OR EASEMENTS SHOWN HEREON REPRESENT A COMPILATION OF  
RECORDED DEEDS, PLATS, G.I.S. RECORDS AND TAX MAPS.

7. THE AREA OF THE PROPOSED CELL TOWER APPEARS TO LIE WITHIN  
FLOOD ZONE "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL  
FLOOD INSURANCE COMMUNITY NUMBER 51109C-0175 C, DATED JULY 22, 2020.

8. THE EXISTENCE OF HAZARDOUS WASTE, VEGETATED WETLANDS, OR TIDAL WETLANDS, WAS  
NEITHER INVESTIGATED, NOR CONFIRMED DURING THE PERFORMANCE OF THIS EXHIBIT.  
9. ACCESS AND UTILITY EASEMENTS TERMINATE AT A CONFIRMED PUBLIC ROW

10. MARKED UTILITIES SHOWN BASED ON FIELD EVIDENCE AND UTILITY RECORDS AND ARE FOR PLANNING PURPOSES ONLY.

AT THE TIME OF THE TOPOGRPAHIC SURVEY THERE WERE NO VISIBLE  
ENCROACHMENTS LOCATED ON THE LEASE AREA.

THE LEASE AND EASEMENT AREAS LIE ENTIRELY WITHIN THE PARENT PARCEL.

GRAPHIC SCALE  
1"=30'(22x34)  
1"=60'(11x17)



APPLICANT



ENGINEER



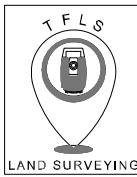
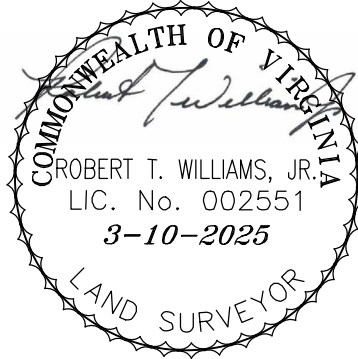
SITE INFORMATION

VERTICAL BRIDGE  
EASEMENT EXHIBIT  
SITE NAME: FRESHWATER CREEK  
SITE # US-VA-5194  
VA ROUTE 522  
LOUISA, VA 23093  
LOUISA COUNTY

DESIGN RECORD

REVISIONS

REV	DATE	DESCRIPTION	BY
1	3/10/25	REV VB TITLE	RTW
0	1/31/25	EXHIBIT	RTW



TIM FALLON LAND SURVEYING, PLLC  
15139 CARROLLTON BLVD, SUITE C  
SUITE C, P.O. BOX 189  
CARROLLTON, VIRGINIA, 23314

SHEET TITLE

EASEMENT  
EXHIBIT

SHEET NUMBER

EE-1

CERTIFICATION

I, ROBERT T. WILLIAMS, JR., A LICENSED VIRGINIA LAND SURVEYOR  
HEREBY CERTIFY TO THE FOLLOWING:

Vertical Bridge REIT, LLC, a Delaware limited liability company, its subsidiaries, and their respective successors and/or assigns;  
and (ii) Toronto Dominion (Texas) LLC, as Administrative Agent, for itself and on behalf of the lenders parties from time to time to that certain Second Amended and Restated Loan Agreement dated June 17, 2016 with Vertical Bridge Holdco, LLC, as borrower, and Vertical Bridge Holdco Parent, LLC, as parent, as may be amended, restated, modified or renewed, their successors and assigns as their interests may appear; and Tower Agency, LLC

THIS SURVEYOR HAS RECEIVED AND REVIEWED THAT CERTAIN TITLE REPORT:  
BY TOWER TITLE & CLOSING DATED JULY 17, 2024, VERTICAL BRIDGE FILE #US-VA-5194  
FOR PARCEL A1, TAX PARCEL ID: 28-97, WHICH PROPOSES TO INSURE THE LANDS DESCRIBED IN SAID TITLE REPORT.  
THE SAID TITLE REPORT DOES DESCRIBE THE LANDS AS DEPICTED ON THIS EXHIBIT.

SCHEDULE B--PART II EASEMENTS AND/OR RIGHTS OF WAY:

ITEM 11. Deed of Easement between The Glatfelter Pulp Wood Company, a Maryland corporation;  
and Commonwealth of Virginia, State Water Control Board, dated March 27, 1975 and  
recorded August 15, 1975 in (book) 189 (page) 260 (instrument) 1119, in Louisa County,  
Virginia. (Blanket easement covering entire parent parcel)

ITEM 12. Buried Cable Easement between The Glatfelter Pulp Wood Company; and The Chesapeake  
and Potomac Telephone Company of Virginia, dated July 31, 1978 and recorded October  
3, 1980 in (book) 221 (page) 355 (instrument) 2557, in Louisa County, Virginia. (Does  
not affect either the Lease area or access)

ITEM 13. Deed between The Glatfelter Pulp Wood Company; and Commonwealth of Virginia, dated  
May 21, 1986 and recorded June 22, 1986 in (book) 304 (page) 329 (instrument)  
1848, in Louisa County, Virginia. (Does not affect either the Lease area or access)

ITEM 14. Buried cable Easement between The Glatfelter Pulp Wood Company; and The Chesapeake  
and Potomac Telephone Company of Virginia, dated March 18, 1991 and recorded June  
13, 1991 in (book) 403 (page) 23 (instrument) 2981, in Louisa County, Virginia.  
(Blanket easement covering entire parent parcel)

ITEM 15. Easement Agreement between The Glatfelter Pulp Wood Company, a Maryland corporation;  
and Rappahannock Electric Cooperative, a Virginia Corporation, dated June 21, 1991 and  
recorded July 10, 1991 in (book) 404 (page) 293 (instrument) 3411, in Louisa County,  
Virginia. (Does not affect the Lease area)(Does appear to cross the access)

ITEM 16. Terms and conditions of an unrecorded lease, as evidenced by a(n) Memorandum of  
Option between William H. Gilman and Michelle Gilman, husband and wife and Virginia  
Electric and Power Company, a Virginia public service corporation, dated October 4, 2022  
and recorded October 6, 2022 in (book) 1868 (page) 414 (instrument) 202200010133, in  
Louisa County, Virginia.

ALL OTHER ITEMS ARE NOT SURVEY MATTERS.

TITLE REPORT PARCEL DESCRIPTION

Tract T-350 (Sulphur Mine) -- Part-- Tax Parcel 28-97: Lake Anna Main Tract:  
All that certain tract or parcel of land situate, lying and being in Mineral Magisterial District,  
Louisa County, Virginia, being shown and delineated as Parcel A1, containing 772.32 acres,  
on that certain plat entitled, "Plat of Survey of Two Parcels Containing a Total of 830.32 Acres,  
now or formerly, in the name of Glawson Holdings, LLC", dated January 11, 2010, made by  
Tommy J. Barlow, Certified Land Surveyor No. 1669, last revised April 11, 2011, a copy of  
which is recorded in Plat Book 8, Page 2784, in the Clerk's Office of the Circuit Court of  
Louisa County, Virginia, which plat, by this reference thereto, is incorporated herein for a more  
particular and accurate description of said property.

This is a portion of the same property described as Tract T-350 (Sulphur Mine) in that Special  
Warranty Deed from Glatfelter Pulp Wood Company to Glawson Holdings, LLC, dated November 9, 2007,  
and recorded in Deed Book 1103, Page 234, as Instrument No. 002226870007, in the Clerk's Office  
of the Circuit Court of Louisa County, Virginia.

APPLICANT



ENGINEER

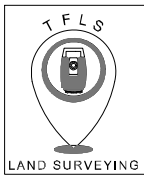
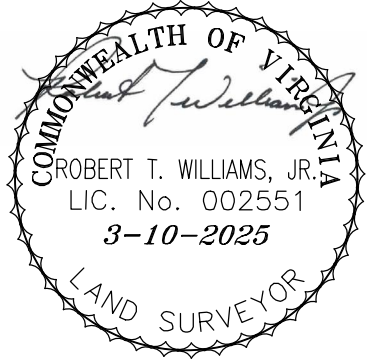


SITE INFORMATION

VERTICAL BRIDGE  
EASEMENT EXHIBIT  
SITE NAME: FRESHWATER CREEK  
SITE # US-VA-5194  
VA ROUTE 522  
LOUISA, VA 23093  
LOUISA COUNTY

DESIGN RECORD

REVISIONS			
1	3/10/25	REV VB TITLE	RTW
0	8/15/24	EXHIBIT	RTW
REV	DATE	DESCRIPTION	BY



TIM FALLON LAND SURVEYING, PLLC  
15139 CARROLLTON BLVD, SUITE C  
SUITE C, P.O. BOX 189  
CARROLLTON, VIRGINIA, 23314

SHEET TITLE

EASEMENT  
EXHIBIT

SHEET NUMBER

EE-2

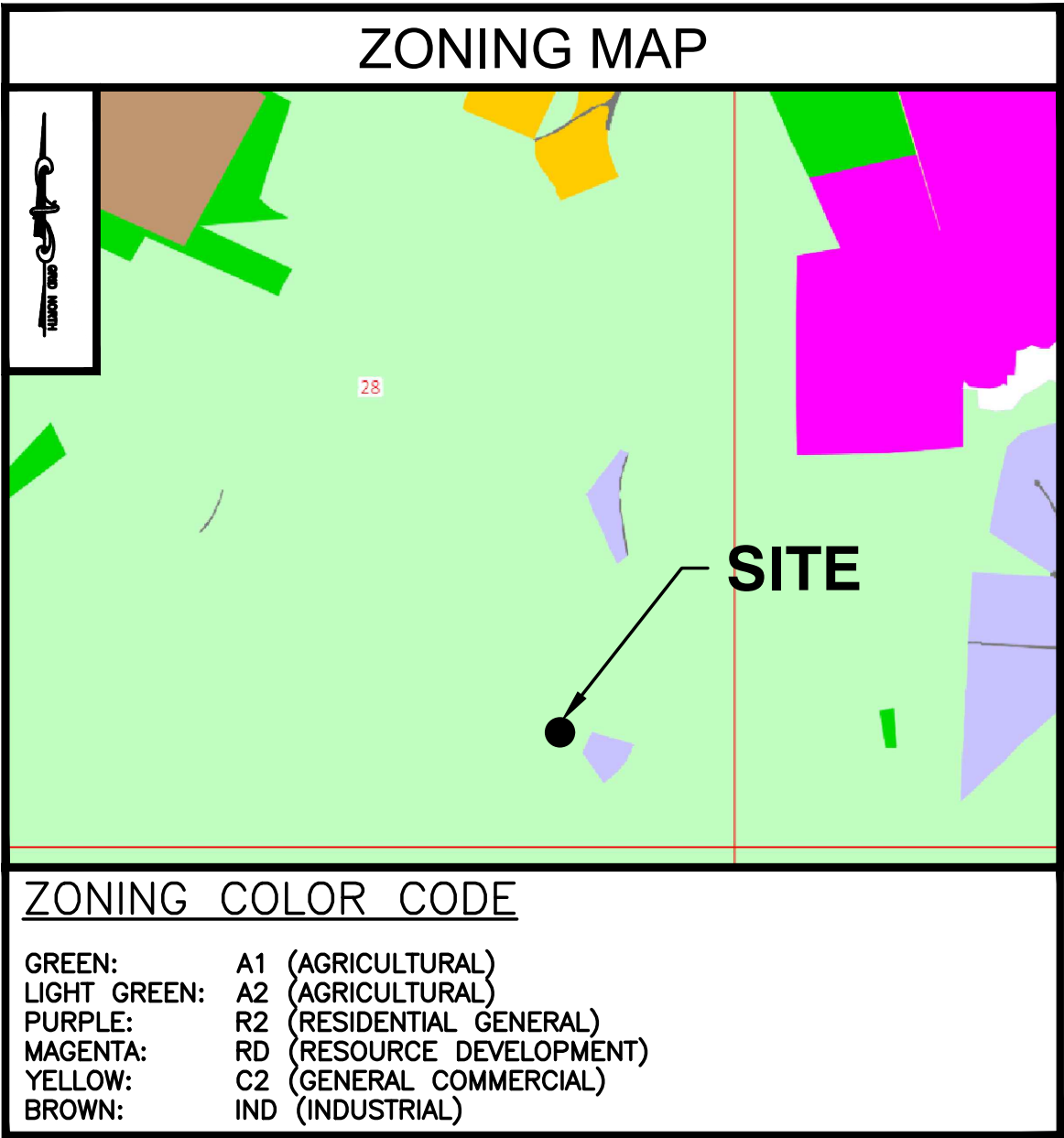
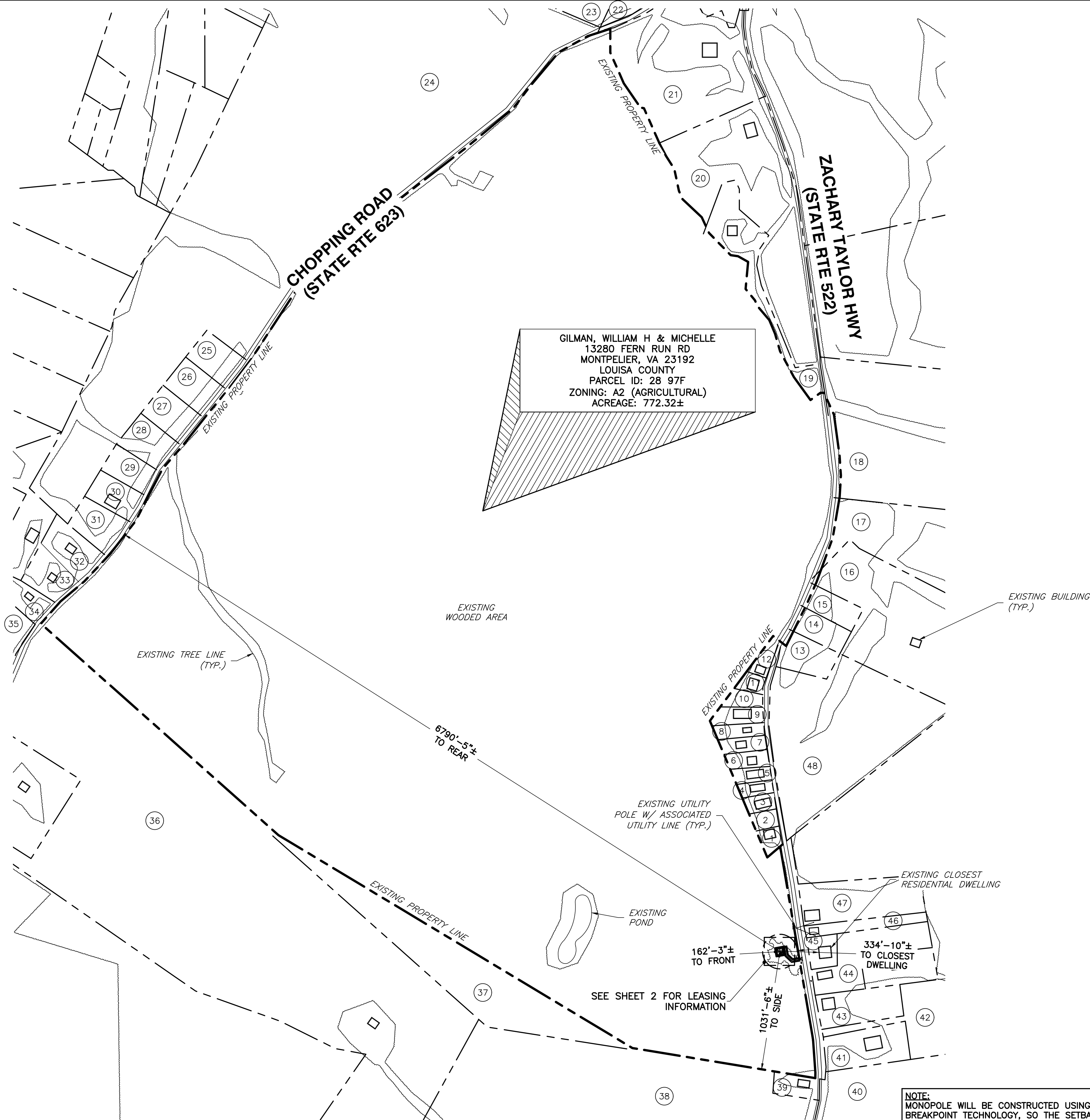
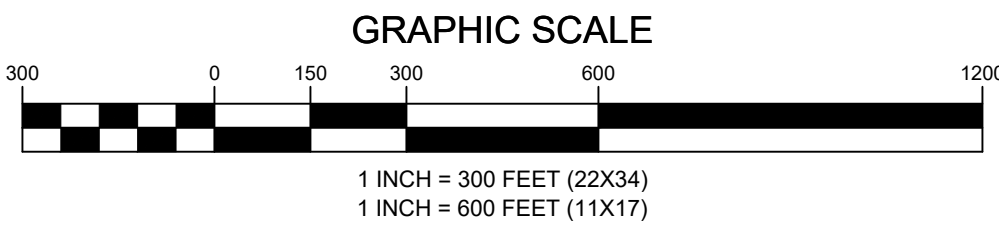
LAST PLOTTED: 05/02/2025 4:02 PM



Know what's below.  
Call before you dig.

1  
Z-1

**SITE PLAN**  
SCALE: 1" = 300' (22X34)  
SCALE: 1" = 600' (11X17)



### GENERAL NOTES

- THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
- THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION. THERE IS NO HANDICAP ACCESS REQUIRED.
- THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.

LEGEND	
	PROPERTY LINE - SUBJECT PARCEL
	PROPERTY LINE - ABUTTERS
	EXISTING ROAD
	EXISTING FENCE
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	EXISTING EASEMENT
	PROPOSED FENCE
	EXISTING OVERHEAD UTILITY LINES
	EXISTING BUILDING

ZONING INFORMATION		
JURISDICTION: LOUISA COUNTY		
ZONING: A2 (AGRICULTURAL)		
DIMENSION	PROPOSED ±	REQUIRED (100% FALL ZONE)
FRONT YARD SETBACK:	162'-3"±	150'-0"
SIDE YARD SETBACK:	1031'-6"±	150'-0"
REAR YARD SETBACK:	6790'-5"±	150'-0"
CLOSEST DWELLING:	334'-10"±	-
LOT AREA: 772.32 ± ACRES		
(ALL MEASUREMENTS ARE IN FEET ± UNLESS OTHERWISE NOTED)		

ENGINEERING FIRM

**NB+C**  
TOTALLY COMMITTED.

**NB+C ENGINEERING SERVICES, LLC.**  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 548-4079

APPLICANT

**verizon**

1831 RADY COURT  
RICHMOND, VA 23222

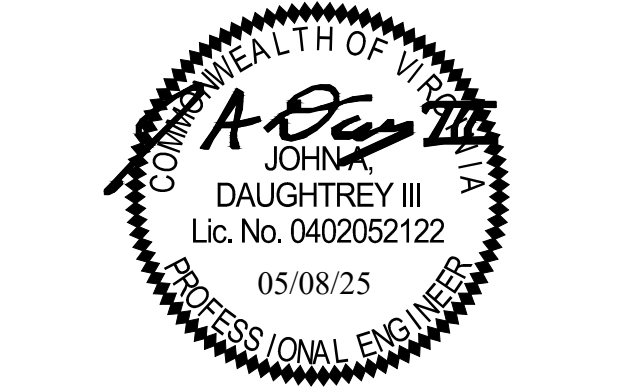
SITE INFORMATION

FRESHWATER CREEK  
VERIZON RAWLAND  
SITE #: US-VA-5149  
NB+C PROJECT #: 100912  
VA ROUTE 522  
LOUISA, VA 23093  
LOUISA COUNTY

DESIGN RECORD

REVISIONS			
REV	DATE	DESCRIPTION	BY
2	05/08/25	REVISED	KLB
1	03/24/25	REVISED	KLB
0	03/12/25	FINAL ZDS	AA
A	02/24/25	PRELIMINARY ZDS	AA

PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VIRGINIA PROFESSIONAL ENGINEER  
LICENSE #0402052122

SHEET TITLE

**SITE PLAN**


SHEET NUMBER

**Z-1**


LAST PLOTTED: 05/02/2025 4:02 PM

1	MULLINW, DAPHNE A & BARBROW, LAERRY WARREN SR 3237 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 1 ZONING: R2 AREA: 0.85± ACRES	2	MULLINS DAPHNE A & BARBROW, LARRY WARREN SR 3237 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 2 ZONING: R2 AREA: 0.84± ACRES	3	LAM, LORA & SMALLWOOD, GLADYS M 3287 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 3 ZONING: R2 AREA: 0.65± ACRES	4	CAREY, TISHA M 3323 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 4 ZONING: R2 AREA: 0.88± ACRES	5	CARRIER, THOMAS C & VICKIE A 3337 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 5 ZONING: R2 AREA: 0.98± ACRES	6	COWARD, LISA R 3363 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 6 ZONING: R2 AREA: 1.04± ACRES	7	AGUILERA--ORELLANA, JOSE OMAR & ROSA 3391 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 7 ZONING: R2 AREA: 1.15± ACRES	8	PHILLIPS, VIRGINIA & WALTER, VIRGINIA LEE TRUSTEE 3409 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 8 ZONING: R2 AREA: 1.28± ACRES
9	FRANKLIN, GEORGE A 3431 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 9 ZONING: R2 AREA: 1.38± ACRES	10	PORTER, GEORGE M JR 6036 WILDCAT MOUNTAIN RD WARRENTON, VA 20186 PARCEL ID: 28 7 10 ZONING: R2 AREA: 1.05± ACRES	11	CHUNGA, MARIA & PLAZA, JOSE 3477 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 11 ZONING: R2 AREA: 0.86± ACRES	12	COLVIN, TOYA D 3501 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 7 12 ZONING: R2 AREA: 1.00± ACRES	13	DICK PURCELL LAND CATTLE AND TIMBER PO BOX 308 LOUISA, VA 23093 PARCEL ID: 28 13 4 ZONING: A2 AREA: 2.49± ACRES	14	DICK PURCELL LAND CATTLE AND TIMBER PO BOX 308 LOUISA, VA 23093 PARCEL ID: 28 13 3 ZONING: A2 AREA: 1.959± ACRES	15	TRUSTEES OF LOUISA UNITED METHODIST CHURCH PO BOX 217 LOUISA, VA 23093 PARCEL ID: 28 13 2 ZONING: A2 AREA: 1.947± ACRES	16	DOWNEY, LEE CHRISTOPHER & DOWNEY, JENNIFER MARIE 3690 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 13 1 ZONING: A2 AREA: 24.89± ACRES
17	DICK PURCELL LAND CATTLE AND TIMBER CORPORATION & PG ONE LLC PO BOX 308 LOUISA, VA 23093 PARCEL ID: 28 97A 1 ZONING: A2 AREA: 259.37± ACRES	18	RP20 CUTALONG CONSOLIDATED LLC 160 WEST CANYON CREST RD ALPINE, UT 84004 PARCEL ID: 29 35 ZONING: RD AREA: 950.9682± ACRES	19	BENNETT, JOSEPH & BENNETT, MELISSA 4275 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 97B1 ZONING: A2 AREA: 8.858± ACRES	20	JDP ENTERPRISES LLC 115 RENFREW CIRCLE MINERAL, VA 23117 PARCEL ID: 28 97 ZONING: A2 AREA: 26.472± ACRES	21	MGK ENTERPRISES LLC 133 RENFREW CIRCLE LOUISA, VA 23093 PARCEL ID: 28 97G ZONING: C2 AREA: 24.966± ACRES	22	LAKE ANNA STORAGE LLC 574 BURRUSS MILL RD BUMPASS, VA 23024 PARCEL ID: 28 106 ZONING: A2 AREA: 7.714± ACRES	23	LUMSDEN, JESSE B JR & VADA H & LUMSDEN, EVERETT E & JANET PO BOX 344 MINERAL, VA 23117 PARCEL ID: 28 105 ZONING: C2 AREA: 125.496± ACRES	24	DICKINSON LAND & PROPERTIES LC PO BOX 126 LOUISA, VA 23093 PARCEL ID: 28 97B ZONING: A2 AREA: 168.3± ACRES
25	MCDERMOTT, JOHN & JULIE 3485 CHOPPING RD MINERAL, VA 23117 PARCEL ID: 28 12 10 ZONING: A2 AREA: 2.65± ACRES	26	STONEMAN, DAWN COOK 3445 CHOPPING RD MINERAL, VA 23117 PARCEL ID: 28 12 9 ZONING: A2 AREA: 2.76± ACRES	27	THORNE, ROBERT L III 3347 CHOPPING ROAD MINERAL, VA 23117 PARCEL ID: 28 12 8 ZONING: A2 AREA: 2.79± ACRES	28	VILLEGAS, CAROLLINA J & NAVARRETE VICTOR A ARIAS 3339 CHOPPING RD MINERAL, VA 23117 PARCEL ID: 28 12 7 ZONING: A2 AREA: 3.00± ACRES	29	DE LEOS, DENISSA BIANCA & OWENS, CONNER CHASE 3289 CHOPPING RD MINERAL, VA 23117 PARCEL ID: 28 12 6 ZONING: A2 AREA: 2.36± ACRES	30	DANEY, ELIZABETH C 3221 CHOPPING RD MINERAL, VA 23117 PARCEL ID: 28 12 5 ZONING: A2 AREA: 2.42± ACRES	31	SMITH, GARLAND PRESTON III & CHICAS--NEITO, ANA MARIA 3161 CHOPPING RD MINERAL, VA 23117 PARCEL ID: 28 12 4 ZONING: A2 AREA: 2.90± ACRES	32	FLUVANNA/LOUISA HOUSING FOUNDATION 144 A RESOURCE LN LOUISA, VA 23093 PARCEL ID: 28 12 3 ZONING: A2 AREA: 3.41± ACRES
33	FLUVANNA/LOUISA HOUSING FOUNDATION 144 A RESOURCE LN LOUISA, VA 23093 PARCEL ID: 28 12 2 ZONING: A2 AREA: 2.8± ACRES	34	FLORANCE, ANDREW EDWARD & FLORANCE, DEBRA ANN 45 SMITH RD MINERAL, VA 23117 PARCEL ID: 28 97C ZONING: A2 AREA: 1.55± ACRES	35	MALLORY, CYNTHIA ET ALS 12771 MOUNT HERMON RD ASHLAND, VA 23005 PARCEL ID: 28 42 ZONING: A2 AREA: 22.817± ACRES	36	MALLORY, CYNTHIA ET ALS 12771 MOUNT HERMON RD ASHLAND, VA 23005 PARCEL ID: 28 95 ZONING: A2 AREA: 379.22± ACRES	37	MALLORY, CYNTHIA ET ALS 12771 MOUNT HERMON RD ASHLAND, VA 23005 PARCEL ID: 28 94 ZONING: A2 AREA: 17.37± ACRES	38	MALLORY, CYNTHIA ET ALS 12771 MOUNT HERMON RD ASHLAND, VA 23005 PARCEL ID: 28 95 ZONING: A2 AREA: 379.22± ACRES	39	MULLINS, JERRY W SR 2833 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 93 ZONING: A2 AREA: 0.97± ACRES	40	HARRIS, THOMAS & GEORGIA C/O PATRICIA HARRIS 6235 PINEY BRANCH RD NW WASHINGTON, DC 20011 PARCEL ID: 28 117 ZONING: A2 AREA: 37.43± ACRES
41	NELSON, TIMOTHY K & HEATHER S PO BOX 278 MINERAL, VA 23117 PARCEL ID: 28 10 B ZONING: A2 AREA: 5.00± ACRES	42	DODSON, STEPHEN L JR 619 HENSLEY RD MINERAL, VA 23117 PARCEL ID: 29 10 ZONING: A2 AREA: 55.332± ACRES	43	GUINN, JOEY J & ANA KARINA 436 JOHNNY HALL RD MINERAL, VA 23117 PARCEL ID: 28 10 A ZONING: A2 AREA: 5.00± ACRES	44	CUTRIGHT, JERRY L & MCDONALD, TAMARA CUTRIGHT TRUSTEES 3006 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 116 ZONING: A2 AREA: 6.023± ACRES	45	CUTRIGHT, JERRY L & MCDONALD, TAMARA CUTRIGHT TRUSTEES 2992 ZACHARY TAYLOR HWY MINERAL, VA 23117 PARCEL ID: 28 115 ZONING: A2 AREA: 1.00± ACRES	46	THOMAS, GILDA B 513 CAROLINE AVE CHARLOTTESVILLE, VA 22902 PARCEL ID: 28 114 ZONING: A2 AREA: 2.01± ACRES	47	THOMAS, ROBERT ALLEN & GILDA B 513 CAROLINE AVE CHARLOTTESVILLE, VA 22902 PARCEL ID: 28 113 ZONING: A2 AREA: 8.05± ACRES	48	DICK PURCELL LAND CATTLE AND TIMBER PO BOX 308 LOUISA, VA 23093 PARCEL ID: 28 13 5 ZONING: A2 AREA: 25.34± ACRES

ENGINEERING FIRM

**TOTALLY COMMITTED.**  
**NB+C ENGINEERING SERVICES, LLC.**  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 548-4079

APPLICANT

  
1831 RADY COURT  
RICHMOND, VA 23222


SITE INFORMATION

FRESHWATER CREEK  
VERIZON RAWLAND  
SITE #: US-VA-5149  
NB+C PROJECT #: 100912  
VA ROUTE 522  
LOUISA, VA 23093  
LOUISA COUNTY

DESIGN RECORD

REV	DATE	DESCRIPTION	BY
2	05/08/25	REVISED	KLB
1	03/24/25	REVISED	KLB
0	03/12/25	FINAL ZDS	AA
A	02/24/25	PRELIMINARY ZDS	AA

PROFESSIONAL STAMP



ENGINEER

JOHN A.DAUGHTREY III, P.E.  
VIRGINIA PROFESSIONAL ENGINEER  
LICENSE #0402052122

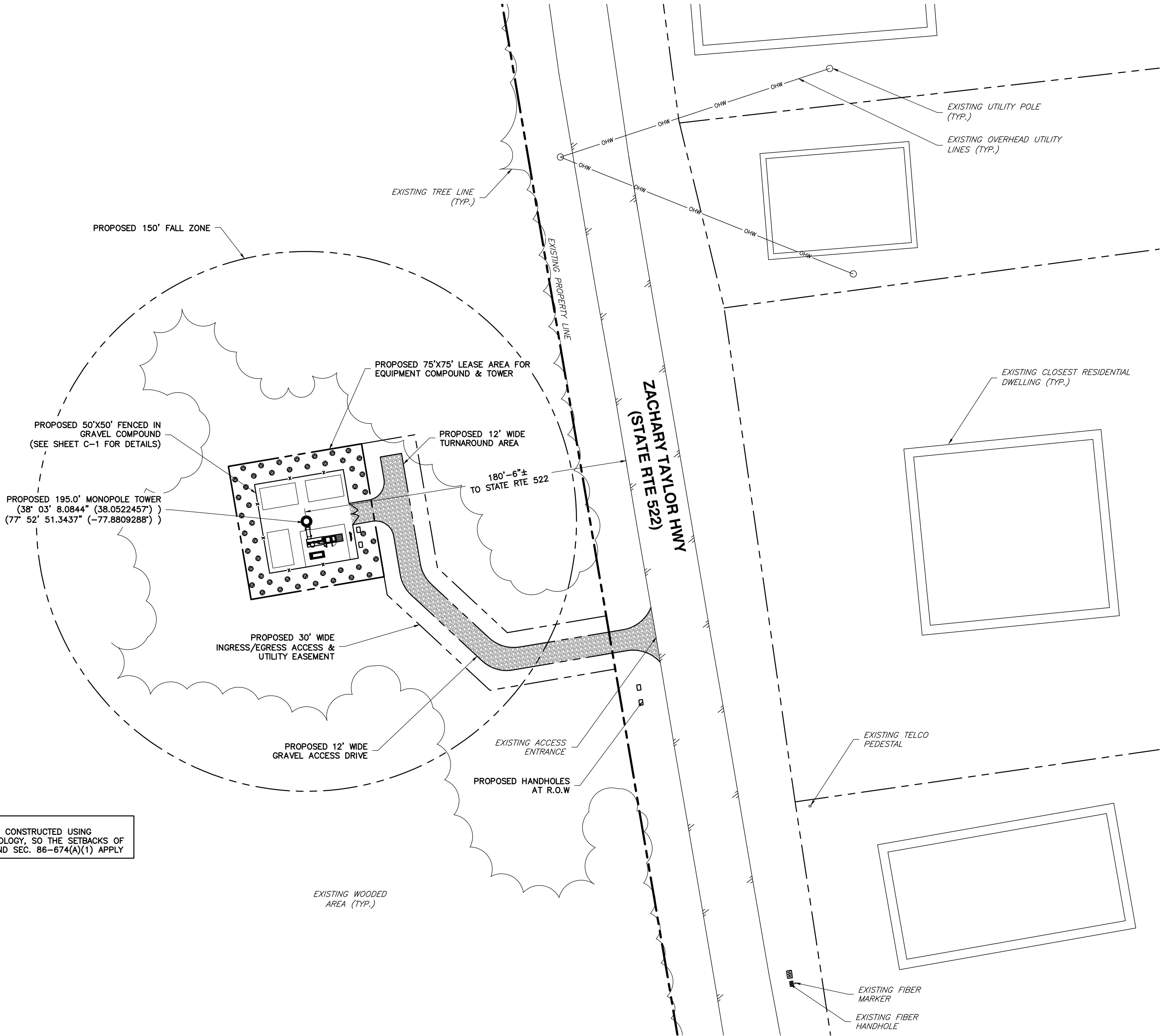
SHEET TITLE

ADJACENT  
PROPERTY  
INFO

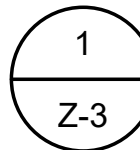
SHEET NUMBER

Z-2

LAST PLOTTED: 05/02/2025 4:02 PM

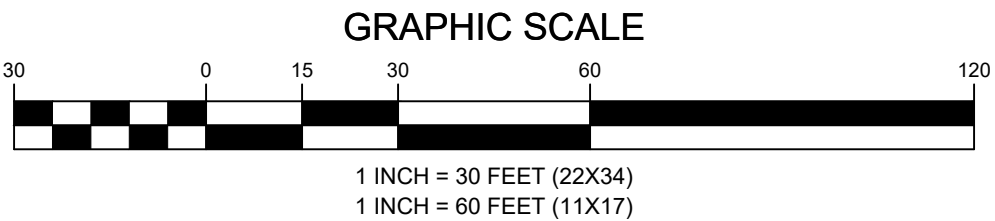


NOTE:  
MONOPOLE WILL BE CONSTRUCTED USING  
BREAKPOINT TECHNOLOGY, SO THE SETBACKS OF  
SEC. 86-673(2) AND SEC. 86-674(A)(1) APPLY



1 ENLARGED SITE PLAN

SCALE: 1" = 30' (22X34)  
SCALE: 1" = 60' (11X17)



GRAPHIC SCALE

1 INCH = 30 FEET (22X34)  
1 INCH = 60 FEET (11X17)



Know what's below.  
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ENGINEERING FIRM

**NB+C**  
TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 548-4079

APPLICANT

**verizon**

1831 RADY COURT  
RICHMOND, VA 23222

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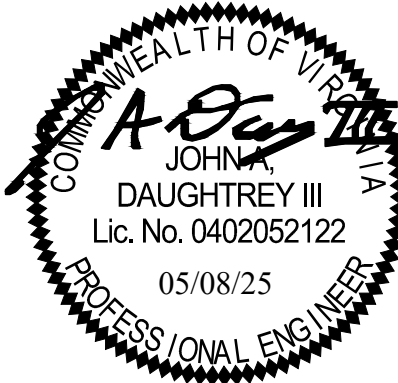
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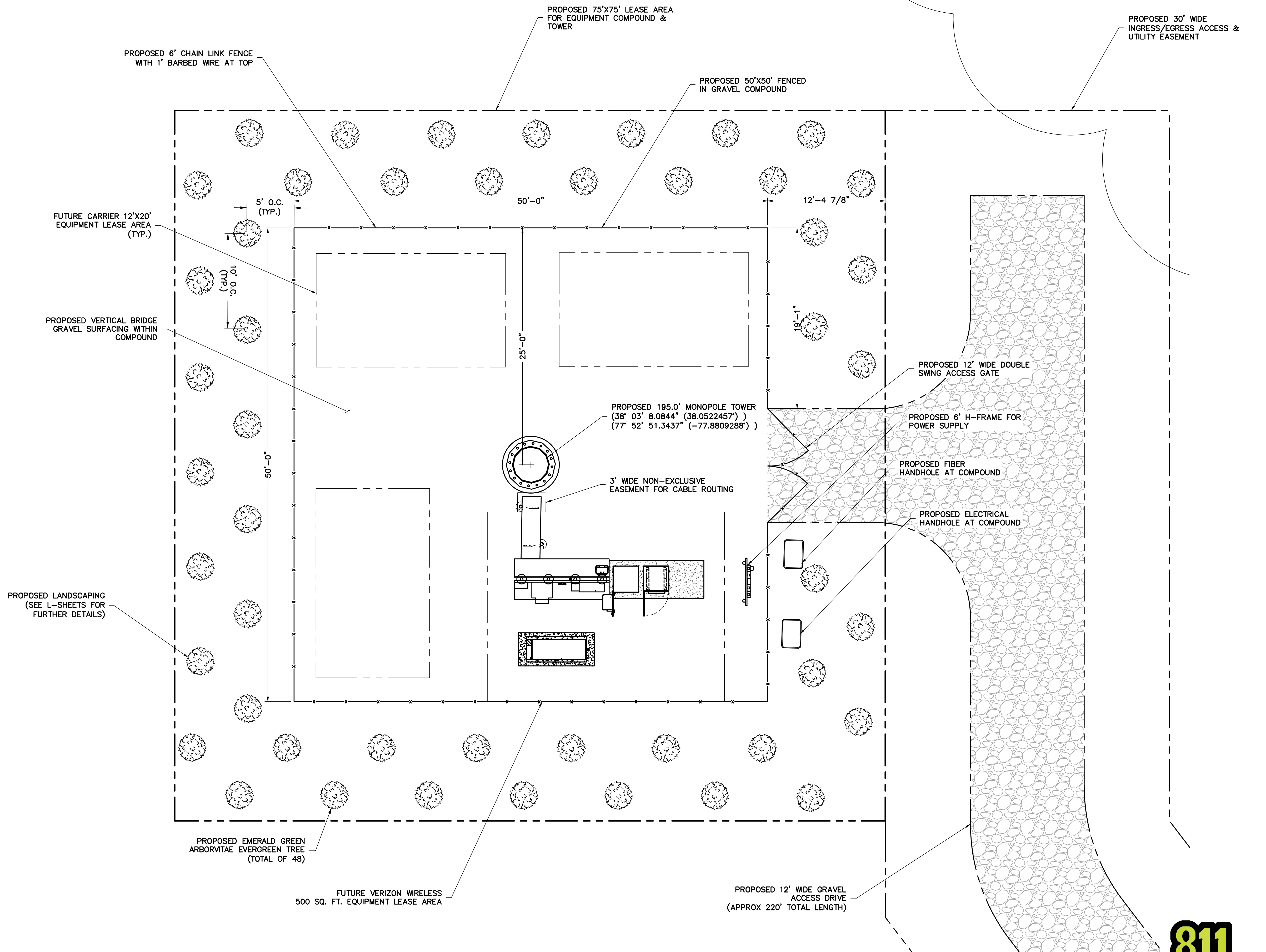
SHEET TITLE

ENLARGED  
SITE PLAN

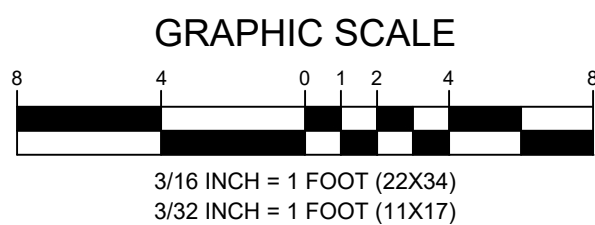
SHEET NUMBER

Z-3

LAST PLOTTED: 05/08/2025 4:02 PM



1 COMPOUND PLAN  
SCALE: 3/16" = 1' (22X34)  
SCALE: 3/32" = 1' (11X17)



ENGINEERING FIRM

**NB+C**<sup>TM</sup>  
**TOTALLY COMMITTED.**

**NB+C ENGINEERING SERVICES, LLC.**  
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GLEN ALLEN, VA 23059  
(804) 548-4079

APPLICANT

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1831 RADY COURT  
RICHMOND, VA 23222

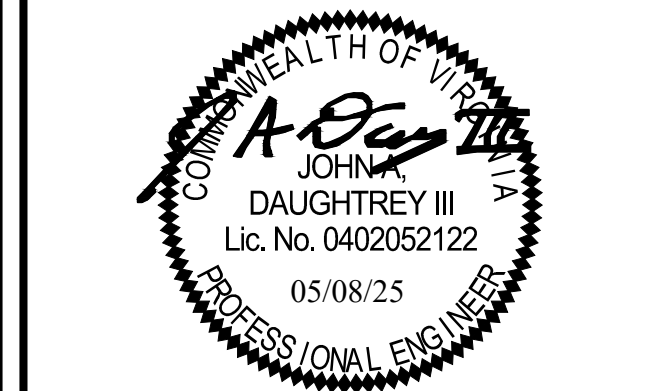
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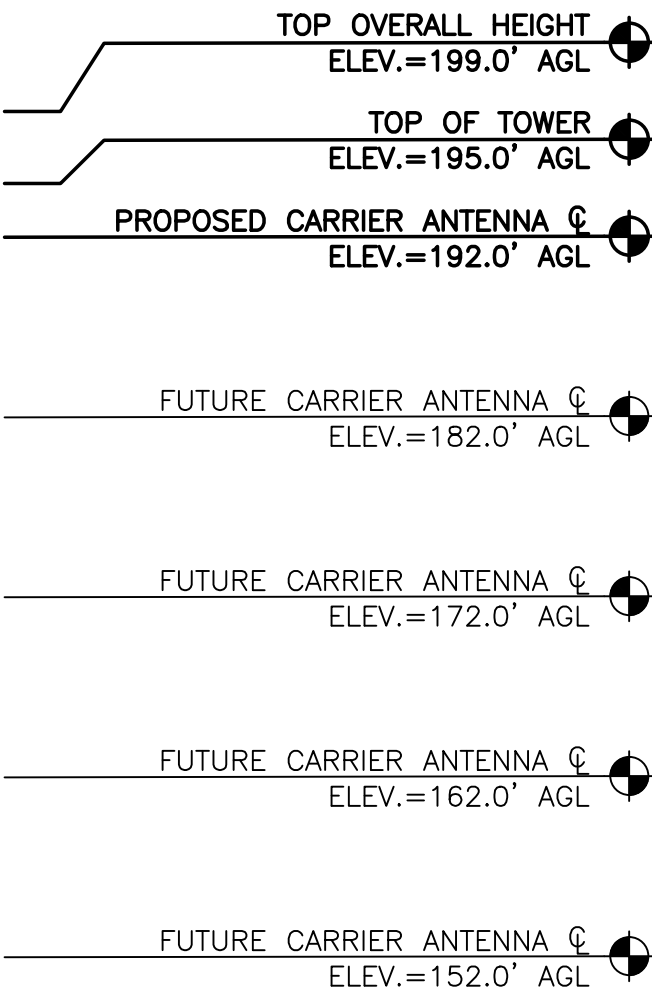
SHEET TITLE

COMPOUND PLAN

SHEET NUMBER

C-1

NOTE:  
PER FAA DETERMINATION DATED XX/XX/XX,  
TOWER ILLUMINATION IS REQUIRED.



PROPOSED 195'  
MONOPOLE TOWER

PROPOSED LANDSCAPING  
(SEE L-SHEETS FOR FURTHER DETAILS)

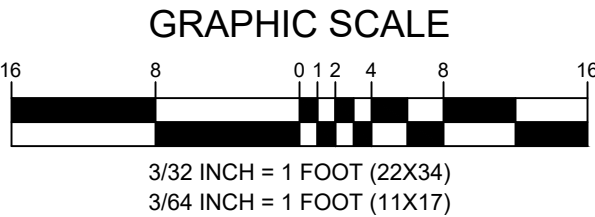
PROPOSED CARRIER ICE BRIDGE

PROPOSED CARRIER  
OUTDOOR EQUIPMENT

PROPOSED 6' CHAIN LINK FENCE  
WITH 1' BARBED WIRE AT TOP

EXISTING GRADE  
ELEV.=0.0' AGL

1 ELEVATION  
SCALE: 3/32" = 1' (22X34)  
SCALE: 3/64" = 1' (11X17)



### GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES COMPANY OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
8. TRANSMITTER EQUIPMENT AND ANTENNAS ARE DESIGNED TO MEET ANSI/TIA 222-H REQUIREMENTS.
9. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
10. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
11. IF ANY UNDERGROUND UTILITIES OR STRUCTURES EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE IT AND CONTACT THE APPLICANT & THE OWNER'S REPRESENTATIVE.
12. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION BY TECHNICIANS APPROXIMATELY 2 TIMES PER MONTH.
13. PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT OR MODIFICATION OF THE EXISTING STRUCTURE, A STRUCTURAL ANALYSIS SHALL BE PERFORMED BY THE OWNER'S AGENT TO CERTIFY THAT THE EXISTING/PROPOSED COMMUNICATION STRUCTURE AND COMPONENTS ARE STRUCTURALLY ADEQUATE TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, COAXIAL CABLES AND OTHER APPURTENANCES.
14. PROPERTY LINE INFORMATION WAS PREPARED USING DEEDS, TAX MAPS, AND PLANS OF RECORD AND SHOULD NOT BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY.
15. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
16. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
17. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
18. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
19. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
20. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.

NOTE:  
STRUCTURAL ANALYSIS OF STRUCTURE PERFORMED  
INDEPENDENT FROM THESE DRAWINGS.

ENGINEERING FIRM

**NB+C**  
TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 548-4079

APPLICANT

**verizon**

1831 RADY COURT  
RICHMOND, VA 23222

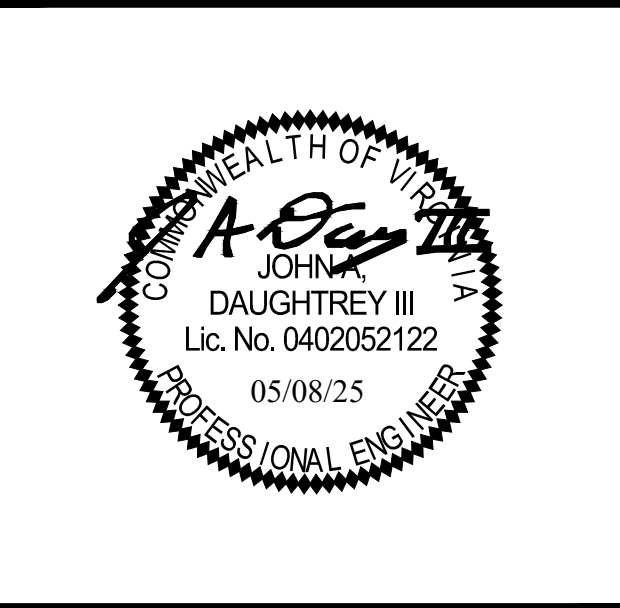
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LOUISA COUNTY

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PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VIRGINIA PROFESSIONAL ENGINEER  
LICENSE #0402052122

SHEET TITLE

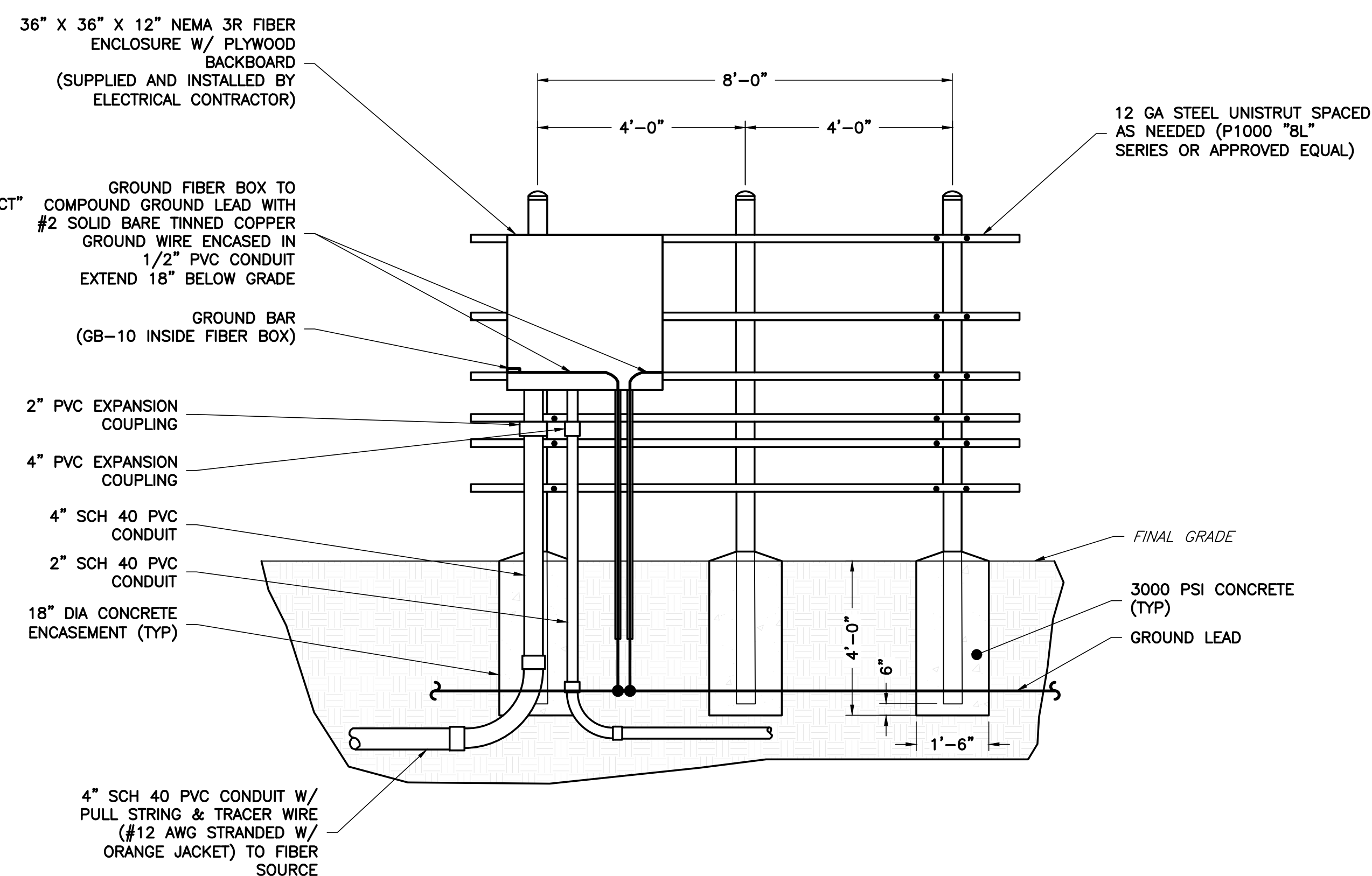
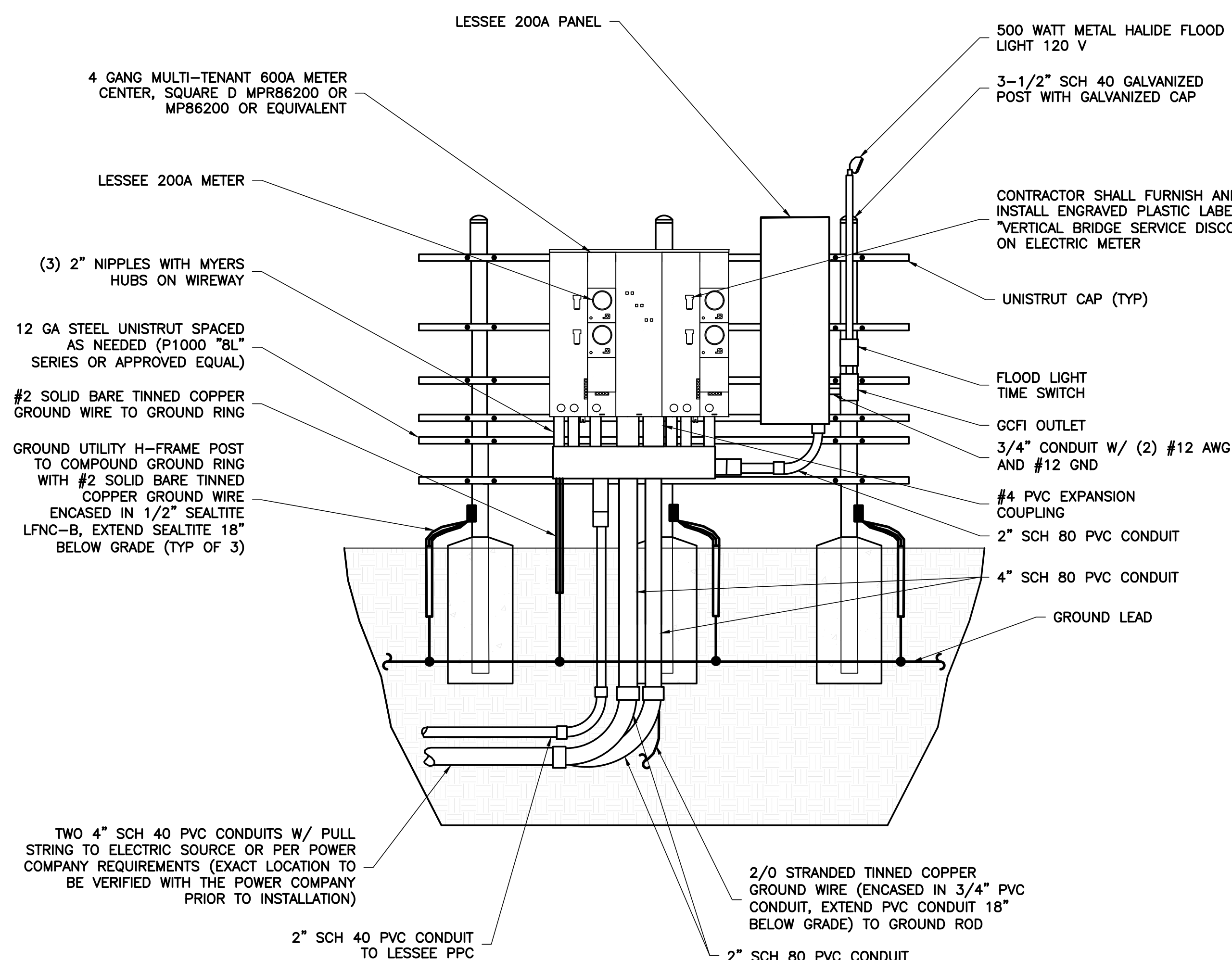
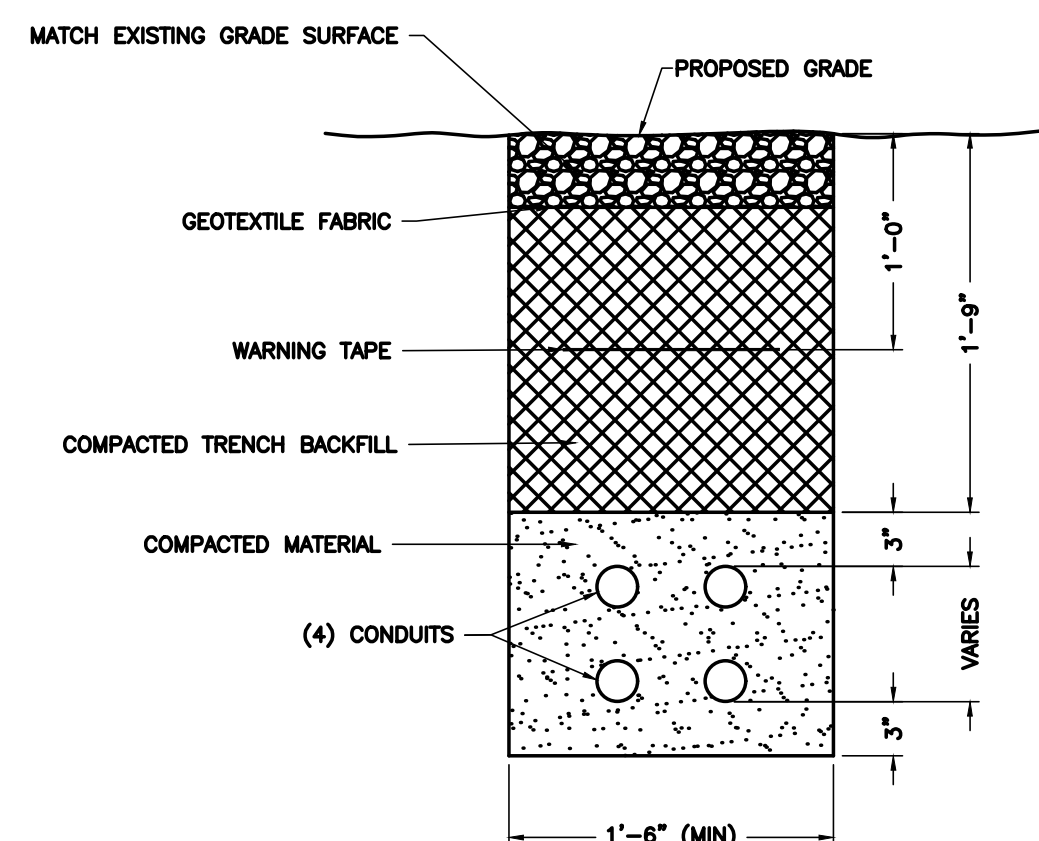
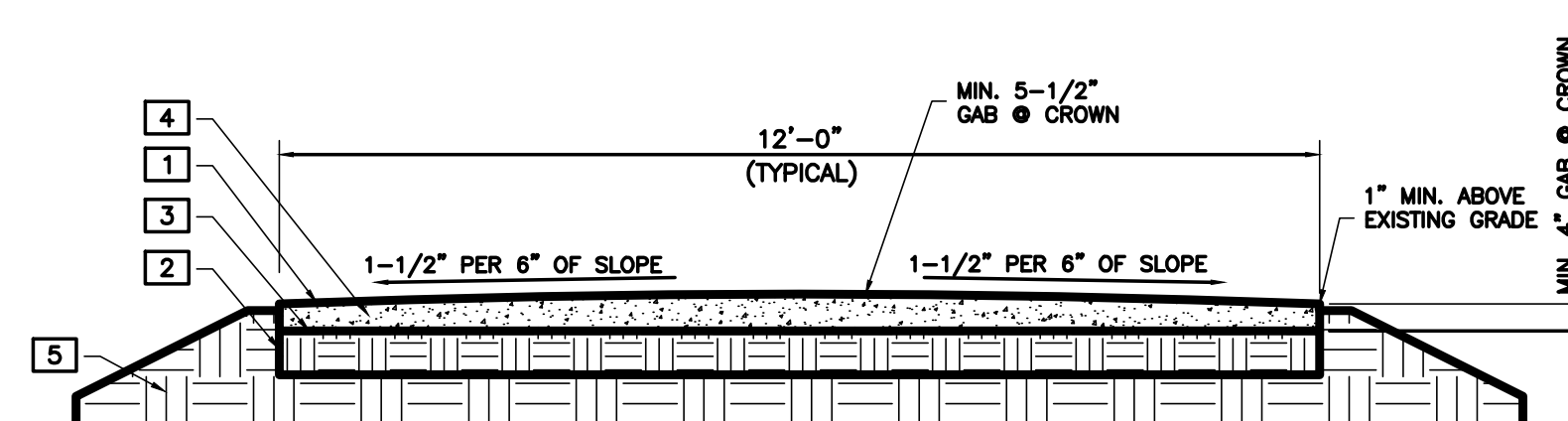
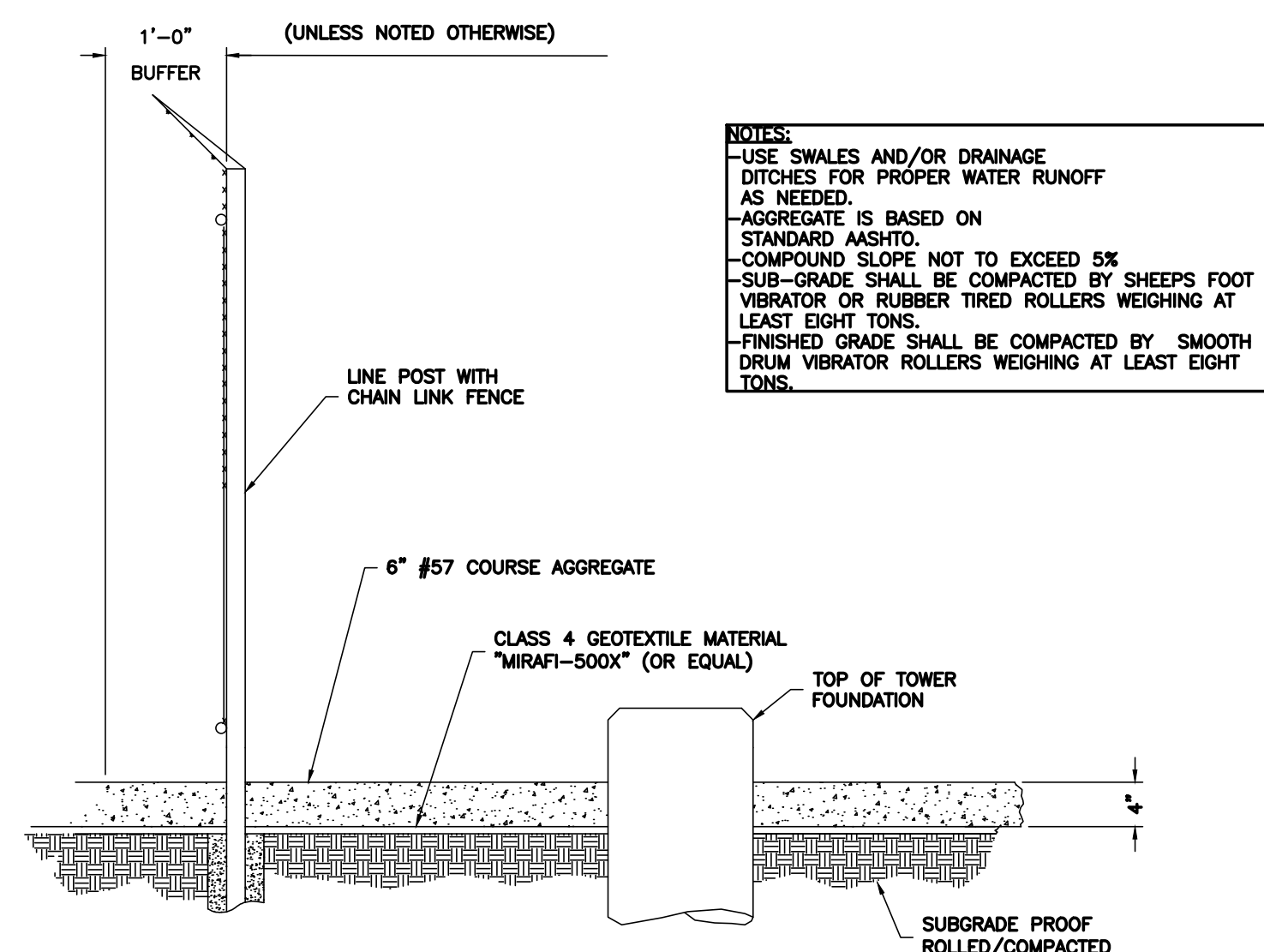
**TOWER ELEVATION  
& NOTES**

SHEET NUMBER

**C-2**



Know what's below.  
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ENGINEERING FIRM

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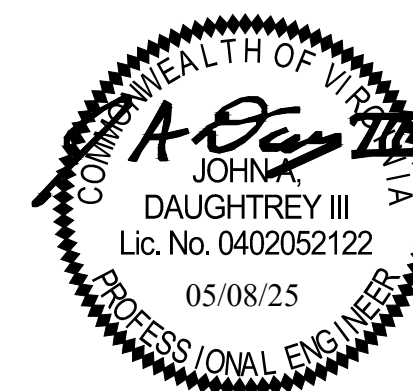
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REV	DATE	DESCRIPTION	B

PROFESSIONAL STAMP



ENGINEER

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LICENSE #0402052122

SHEET TITLE

## CONSTRUCTION DETAILS

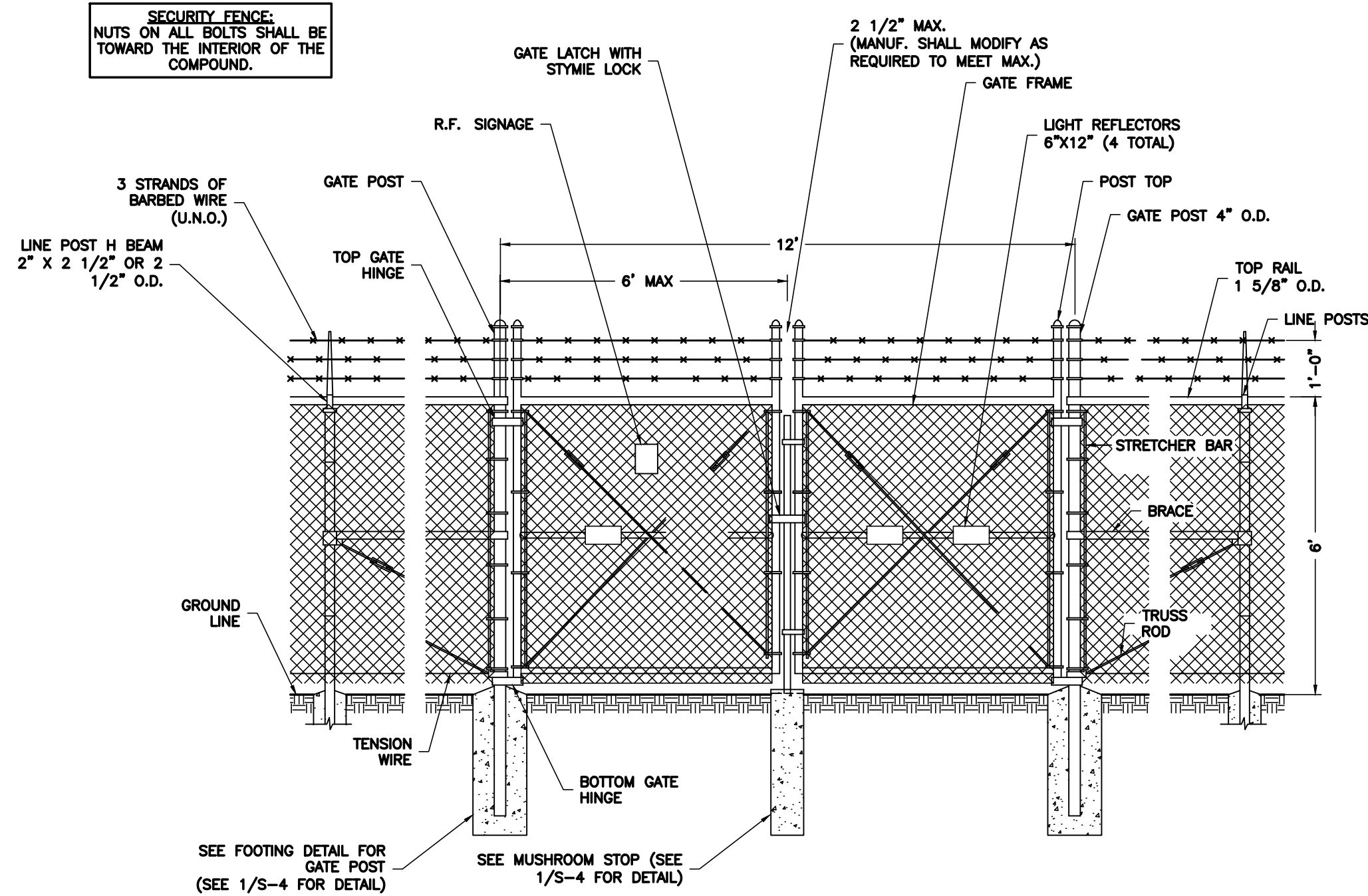
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**S-1**

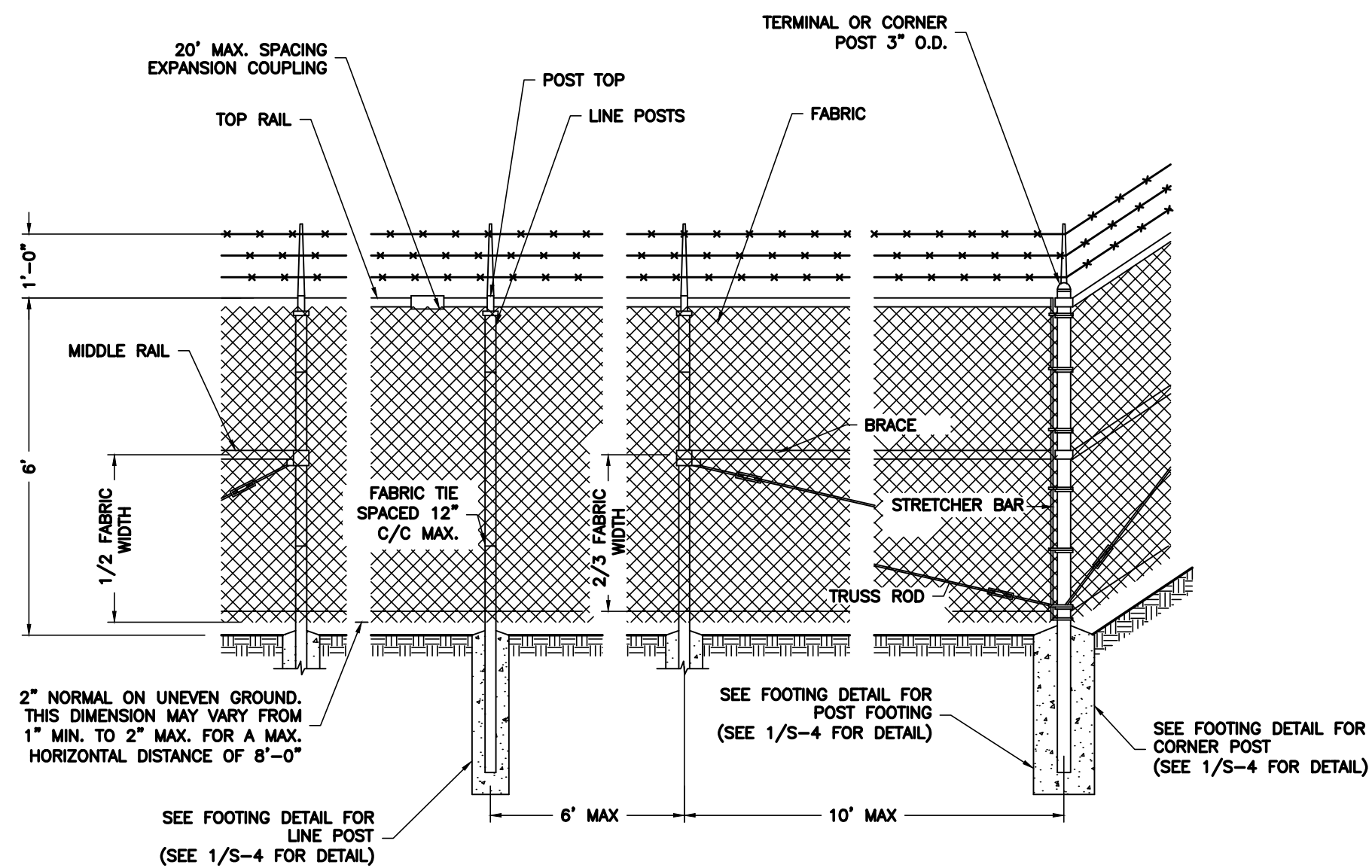


Know what's **below**.  
**Call** before you dig.

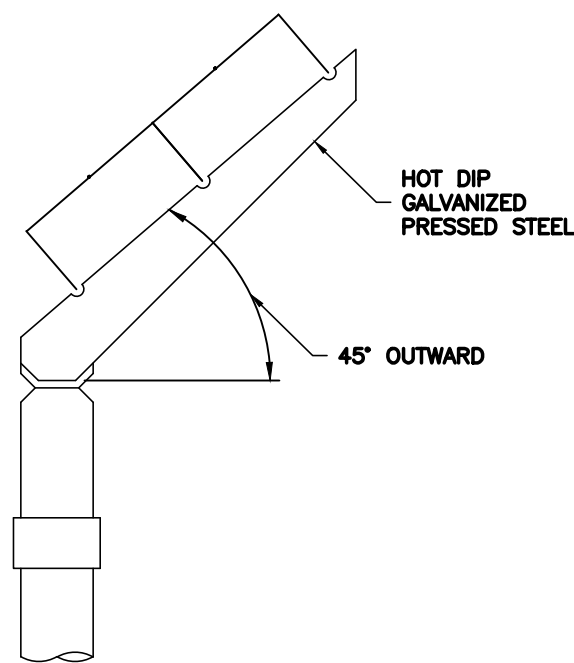
SECURITY FENCE.  
NUTS ON ALL BOLTS SHALL BE  
TOWARD THE INTERIOR OF THE  
COMPOUND.



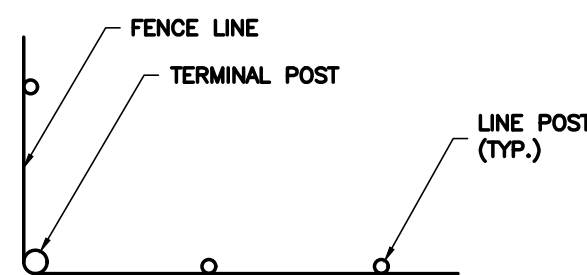
1 VEHICLE GATE ARRANGEMENT  
S-3 NTS



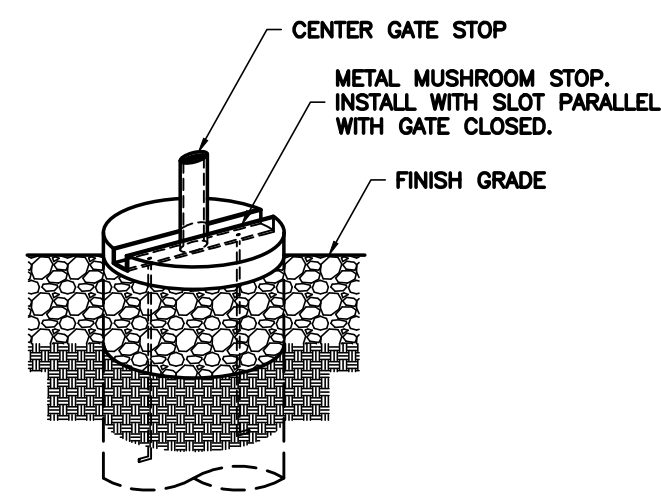
2 POST/CORNER POST ARRANGEMENT  
S-3 NTS



4 BARBED WIRE ARM OF LINE POST  
S-3 NTS



5 INSTALLATION AT CORNERS  
S-3 NTS



6 MUSHROOM STOP DETAIL  
S-3 NTS

ENGINEERING FIRM

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TOTALLY COMMITTED.  
NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 548-4079

APPLICANT

**verizon**  
1831 RADY COURT  
RICHMOND, VA 23222

SITE INFORMATION

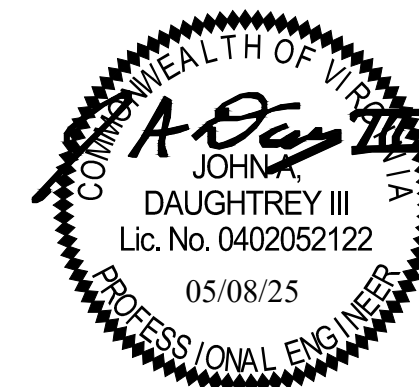
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PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VIRGINIA PROFESSIONAL ENGINEER  
LICENSE #0402052122

SHEET TITLE

FENCING  
DETAILS I

SHEET NUMBER

S-2



NOTES:

ZINC COATING – THE WEIGHT OF THE COATING SHALL NOT BE LESS THAN 1.2 OUNCES PER SQUARE FOOT OF ACTUAL SURFACE COVERED. ALL FERROUS METALS USED AS PART OF THE FENCE INSTALLATION SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL. ALL SCREWS, BOLTS, LOCK WASHERS, NUTS, ETC. SHALL BE HOT DIP GALVANIZED OR MADE OF STAINLESS STEEL.

FABRIC – STANDARD INDUSTRIAL GRADE #9 GAUGE WITH 2 INCH MESH ZINC COATED CHAIN LINK WITH A BREAKING STRENGTH OF NOT LESS THAN 1200 POUNDS SHALL BE USED. THE FABRIC SHALL BE ZINC COATED BY THE HOT DIP PROCESS AFTER FABRICATION.

METAL POSTS – METAL POSTS (LINE, CORNER, TERMINAL, GATE POSTS, MIDDLE RAILS, BRACES AND TOP RAIL) SHALL BE HOT DIP GALVANIZED SCHEDULE 40 TUBULAR STEEL WITH AN OUTSIDE DIAMETER AS INDICATED ON THIS DRAWING. A POST TOP FITTING OF GALVANIZED STEEL WILL BE INSTALLED TO EXCLUDE MOISTURE.

POST CAPS – ALL POST CAPS TO USE THE BARBED WIRE OUTRIGGER BRACKET AND SHALL BE ATTACHED TO THE POST WITH TAMPER RESISTANT SCREWS, BRADS, OR BOLTS.

TOP RAIL – A MINIMUM OF ONE COUPLING IN EACH STRAIGHT RUN OF TOP RAIL, SHALL HAVE A HEAVY SPRING INSERTED WITHIN THE COUPLING TO TAKE UP EXPANSION AND CONTRACTION OF THE TOP RAIL. THE TOP RAIL SHALL BE FASTENED TO TERMINAL POSTS WITH PRESSED STEEL CONNECTIONS.

MIDDLE RAIL – THE MIDDLE RAIL SHALL BE OF THE SAME MATERIAL AS THE TOP RAIL AND INSTALLED WITH HOT DIP GALVANIZED FITTINGS ATTACHED TO THE POSTS.

BRACE RAIL – BRACE RAIL MATERIAL SHALL BE OF THE MATERIAL AS THE TOP RAIL AND LOCATED 2/3 OF THE DISTANCE UP FROM THE BOTTOM OF THE FABRIC. BRACE RAILS SHALL BE SECURELY FASTENED TO POSTS BY SUITABLE PRESSED STEEL CONNECTIONS.

TRUSS RODS – SHALL BE 3/8" ROUND GALVANIZED STEEL RODS WITH GALVANIZED TURNBUCKLES. THE ZINC COATING SHALL BE NOT LESS THAN 1.2 OUNCES PER SQUARE FOOT OF SURFACE.

TENSION WIRE – THE TENSION WIRE SHALL BE OF #7 GAUGE HOT DIP GALVANIZED SPRING TENSION WIRE WITH A BREAKING STRENGTH OF NOT LESS THAN 1900 POUNDS. THIS WIRE SHALL BE KEPT TAUT WITH GALVANIZED TURNBUCKLES AND ATTACHED TO POSTS WITH GALVANIZED HARDWARE OR CABLE CLAMPS.

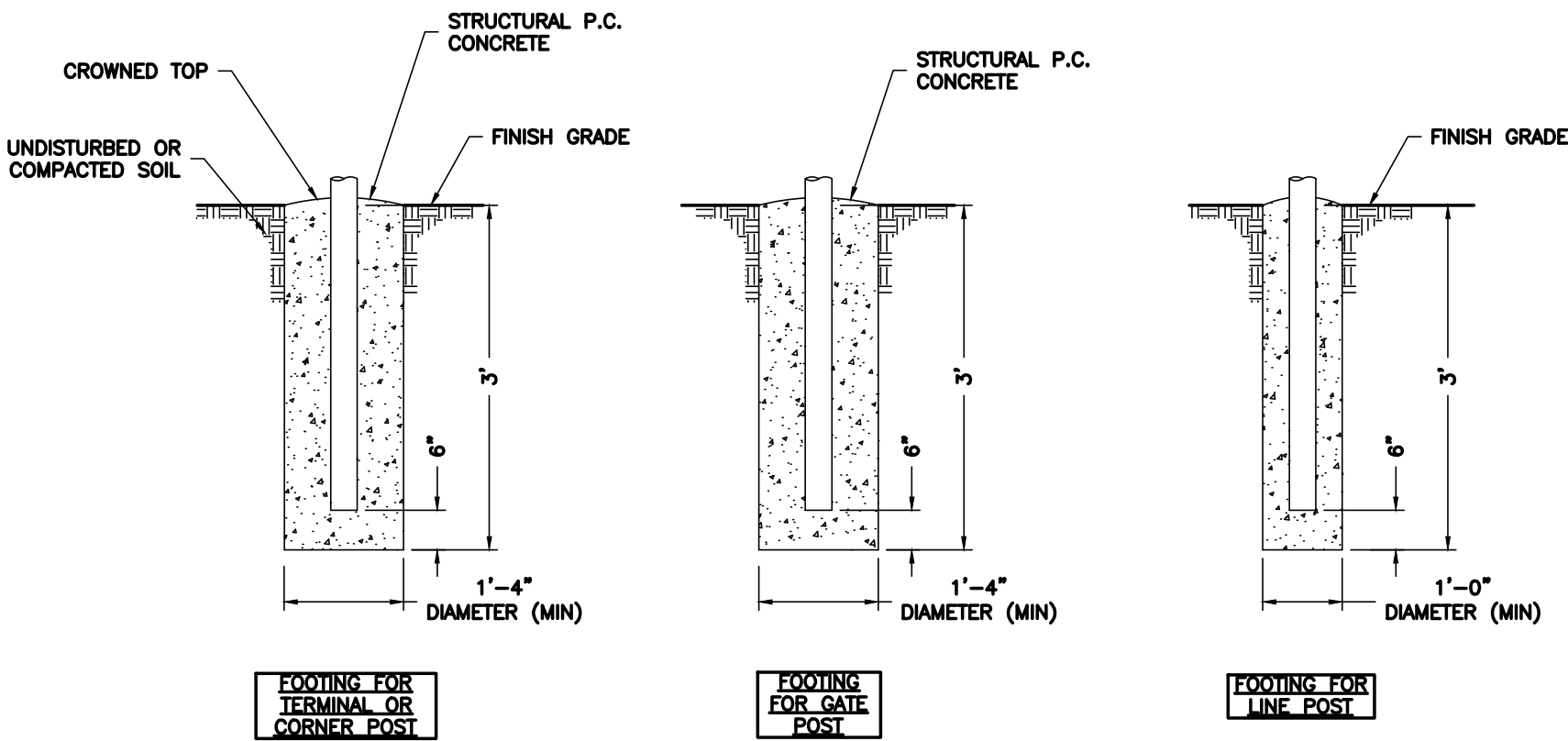
FABRIC TIES – THE FABRIC TIES SHALL BE ALUMINUM WIRE. NOT LESS THAN #9 GAGE.

STRETCHER BARS – THE STRETCHER BARS SHALL BE FLAT GALVANIZED STEEL BARS NOT LESS THAN 5/16" X 3/4" AND NOT LESS THAN 2" SHORTER THAN THE FABRIC. STRETCHER BAR BANDS SHALL BE FLAT GALVANIZED STEEL BARS NOT LESS THAN 5/16" X 1 1/2" WITH 5/16" DIAMETER GALVANIZED CARRIAGE BOLT.

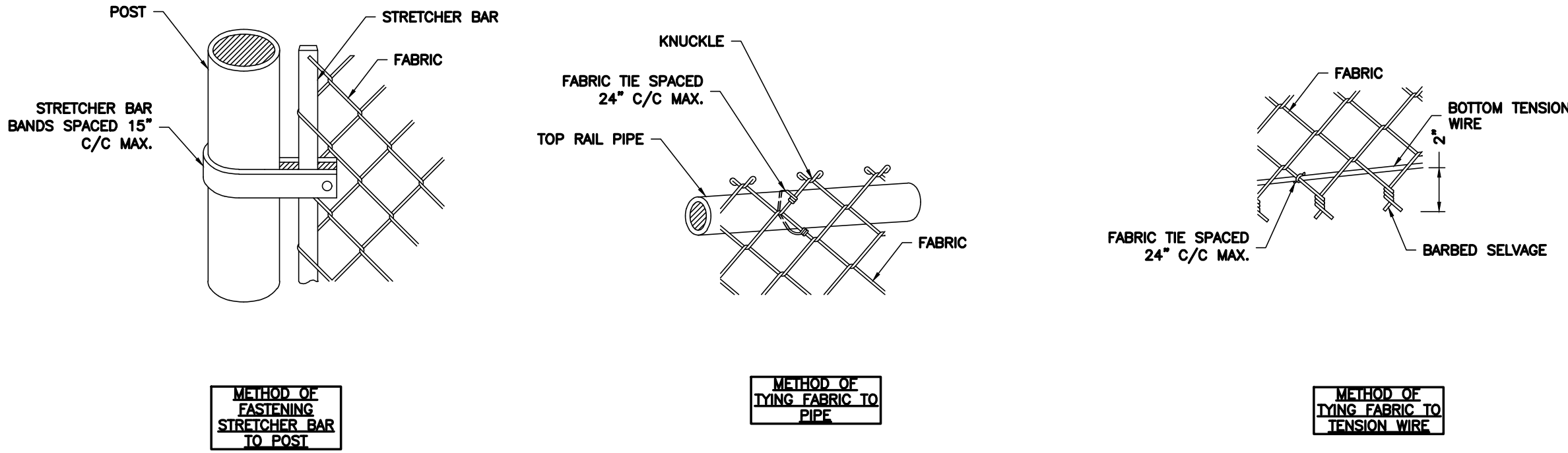
BARBED WIRE – BARBED WIRE OF GALVANIZED STEEL (OR ALUMINUM) CONSISTING OF 12 1/2 GAUGE WIRE WITH 4-POINT BARBS OF 14 GAUGE WIRE SPACED 5 INCHES APART.

GATE FRAMES SHALL BE CONSTRUCTED OF 2 1/2 INCH OUTSIDE DIAMETER HEAVY DUTY GALVANIZED STEEL PIPE. THE GATES SHALL BE ASSEMBLED USING CORNER FITTINGS OF HEAVY PRESSED STEEL OR MALLEABLE CASTINGS OR MAY BE WELDED IF THE ENTIRE GATE FRAME IS HOT DIP GALVANIZED AFTER THE WELDING. ALL GATES SHALL BE EQUIPPED WITH HEAVY DUTY GALVANIZED STEEL TYPE HINGES WITH LARGE BEARING SURFACES OF ADEQUATE STRENGTH TO SUPPORT THE GATE. THE HINGES SHALL NOT TWIST OR TURN UNDER THE ACTION OF THE GATE. GATES WILL PROVIDE A FULL RANGE OF MOTION AND BE EASILY OPENED AND CLOSED BY ONE PERSON. GATE LATCH SHALL BE CARGO PROTECTORS, INC. MODEL FL-100. LATCH SHALL BE EQUIPPED TO RECEIVE A PADLOCK.

PROVIDE R.F. WARNING SIGNAGE ON ALL GATES.



1 POST FOOTINGS  
S-4 NTS



2 FABRIC/BAR CONNECTIONS  
S-4 NTS

ENGINEERING FIRM

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TOTALLY COMMITTED.

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APPLICANT

**verizon**

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PROFESSIONAL STAMP

COMMONWEALTH OF VIRGINIA  
**John A. Daughtrey III**  
JOHN A. DAUGHTREY III  
Lic. No. 0402052122  
05/08/25  
PROFESSIONAL ENGINEER

ENGINEER

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LICENSE #0402052122

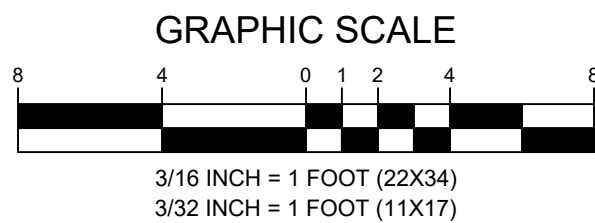
SHEET TITLE

FENCING  
DETAILS II

SHEET NUMBER

S-3

**811**  
Know what's below.  
Call before you dig.



LEGEND

EMERALD GREEN ARBORVITAE -  
ARBORVITAETHUJA OCCIDENTALIS 'EMERA



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NB+C

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COMMONWEALTH OF VIRGINIA

JOHN A. DAUGHTREY III

DAUGHTREY III

Lic. No. 0402052122

05/08/25

PROFESSIONAL ENGINEER

ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VIRGINIA PROFESSIONAL ENGINEER  
LICENSE #0402052122

SHEET TITLE

LANDSCAPING  
PLAN

SHEET NUMBER

L-1

LAST PLOTTED: 05/02/2025 4:02 PM

LANDSCAPING NOTES:

1. ALL PLANT MATERIALS AND PLANTING PROCEDURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NUSERYMEN.
2. MULCH SHALL BE FINELY SHREDDED HARDWOOD BARK MULCH. DO NOT COVER THE ROOT CROWN OF TREES OR SHRUBS WITH MULCH. CUT TWINE AWAY FROM THE BASE OF THE TRUNK OR STEM AND PULL BURLAP DOWN AND OFF OF THE BALL TOP.
3. PLANTING BACKFILL MIX SHALL BE ON PART LOOSE PEAT HUMUS, TO ONE PART SAND, TO ONE PART PARENT SOIL BY VOLUME.
4. SOIL SHALL BE AMENDED WITH THE FOLLOWING: 0.25LBS ORGANIC GRANULAR FERTILIZER (5–10–5), 0.75LBS OF BONEMEAL, 1.0LBS OF ROTTED COW MANURE PER CUBIC FOOT OF MIX.
5. THE CONTRACTOR SHALL WARRANTY ALL PLANTS AND MATERIALS FOR TWO YEARS FROM OWNERS ACCEPTANCE. ALL REPLACEMENTS SHALL BE AS ORIGINALLY SPECIFIED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION PROTECTION AND REPLACEMENT OF ANY UTILITIES DAMAGED ON SITE. FIELD ADJUST PLANT LOCATIONS TO AVOID UTILITIES, SWALES, OVERHEAD WIRES, EXISTING VEGETATION TO REMAIN ETC.
7. LEASEE IS RESPONSIBLE FOR THE COST AND MAINTENANCE OF ALL LANDSCAPING.
8. ALL PLANT MATERIALS MUST BE INSTALLED EQUAL TO OR GREATER THAN THE MINIMUM SIZES SPECIFIED. NO GENIS OR SPECIES SUBSTITUTIONS ALLOWED. CULTIVAR VARIATION ALLOWED WITH THE LANDSCAPE ARCHITECTS APPROVAL. ALL PLANTS WILL BE INSPECTED AND MEASURED FOR LUNENBURG COUNTY COMPLIANCE, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY PERMIT.
9. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
10. IN THE EVENT OF VARIATIONS BETWEEN WRITTEN QUANTITIES SHOWN ON THE PLAN AND THE PLANT LIST, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
11. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. THE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW. ALL LOCATIONS ARE TO BE REVIEWED BY LANDSCAPE ARCHITECT BEFORE EXCAVATION.
12. FIELD ADJUST PROPOSED PLANTING LOCATIONS WHERE NEEDED TO AVOID ANY DAMAGE TO EXISTING FACILITIES, AS WELL AS VEGETATION.
13. PLANTS SHALL CONFORM TO THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1–1996, APPROVED NOVEMBER 6, 1996, OR LATEST REVISION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, (FORMERLY: AMERICAN ASSOCIATION OF NURSERYMEN–AAN), PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED. LOOSE, BROKEN, OR MANUFACTURED BALLS WILL BE REJECTED.
14. ALL PLANT MATERIALS USED SHALL BE TRUE TO NAME AND SIZE IN CONFORMITY WITH THE AMERICAN STANDARD OF NURSERY STOCK (LATEST VERSION) AND SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL–DEVELOPED BRANCHES & VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORERS AND ALL OTHER FORMS OF INFECTION. ALL PLANTS SHALL BE NURSERY GROWN. ALL PLANTS SHALL BE GRADE "A" NURSERY STOCK, WHICH HAVE BEEN NURSERY GROWN UNDER THE SAME CLIMATIC CONDITIONS AS THE PROJECT SITE.
15. PLANT NAMES SHALL AGREE WITH THE NOMENCLATURE "STANDARD PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
16. ALL PLANTING PROCEDURES SHALL CONFORM TO MUNICIPAL STANDARDS AND SPECIFICATIONS.
17. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHER–PROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE.
18. BALLED AND BURLAPPED, AND BALLED AND PLATFORM PLANTS, SHALL HAVE SOLID BALL OF EARTH SECURELY HELD IN PLACE BY BURLAP AND STOUT ROPE. MINIMUM BALL SIZES SHALL BE SPECIFIED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
19. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
20. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
21. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS INDICATED ON THE DOCUMENTS OR BY UTILIZING A METHOD APPROVED BY THE LANDSCAPE ARCHITECT.
22. ALL DISTURBED AREAS OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED.
23. ALL DISTURBED AREAS TO BE TOPSOILED SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 4" SHALL BE FERTILIZED, SEEDED AND MULCHED WITH SMALL GRAIN STRAW. TOPSOIL SHALL BE NATURAL FRIABLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. IT SHALL BE FREE OF LUMPS OF CLAY, STONES, ROOTS AND OTHER FOREIGN MATTER.
24. MULCH, 4" IN DEPTH, SHALL BE EITHER WOOD CHIPS, PINE BARK OR SHREDDED HARDWOOD BARK NOT EXCEEDING 2" IN GREATEST DIMENSION. A WEED RETARDANT BARRIER SHALL BE USED IN ALL NON–GRASSED AREAS.
25. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO EXISTING GRADE AT THE NURSERY. ADJUST AS NEEDED TO MEET GRADE AT ROOT COLLAR. THE ROOT COLLAR SHALL NOT BE COVERED BY SOIL OR MULCH.

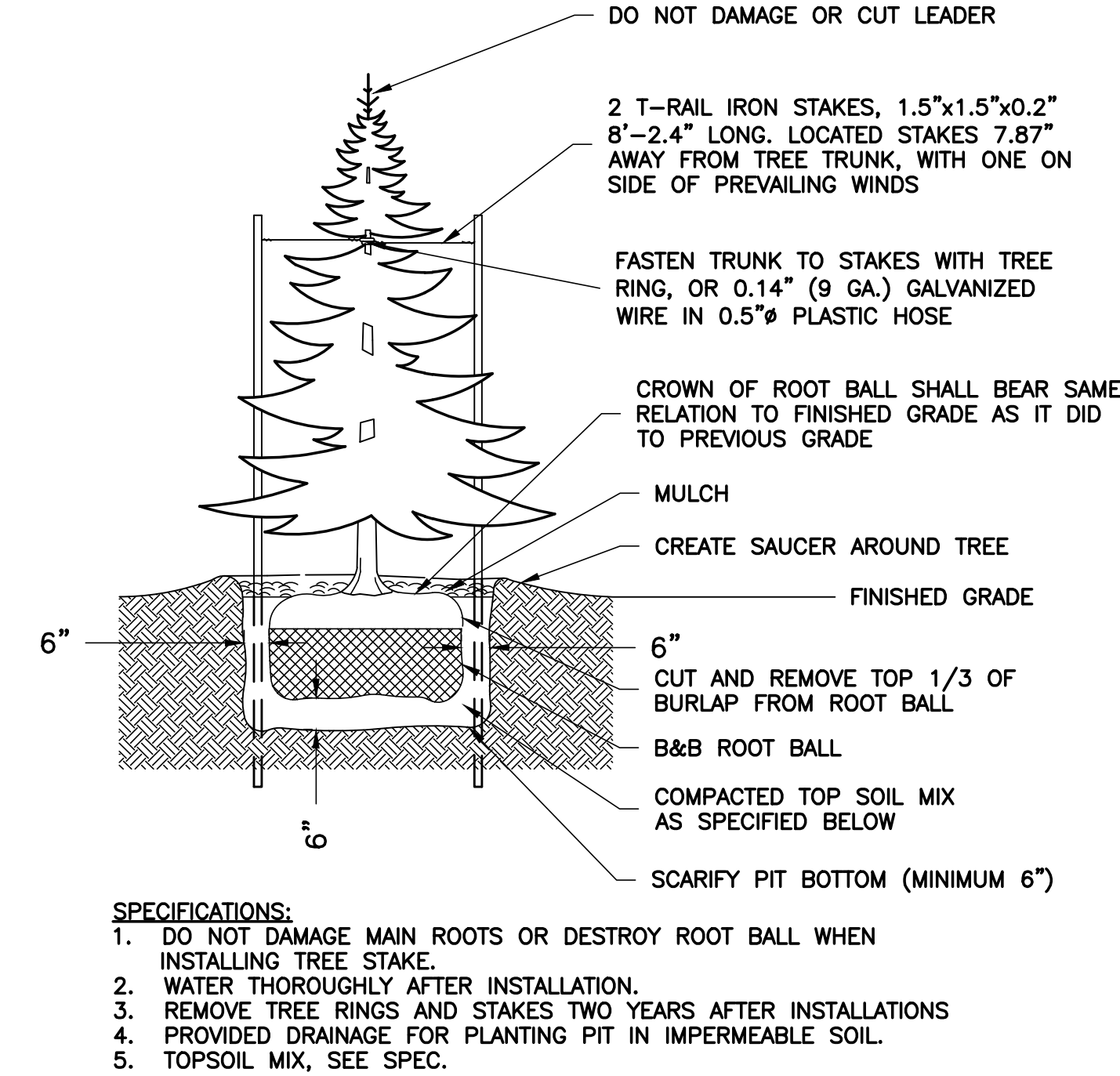
26. PLANTING SHALL BE CONDUCTED UNDER SEASONS WHICH ARE NORMAL FOR SUCH WORK. AT THE OPTION AND ON THE FULL RESPONSIBILITY OF THE CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNREASONABLE CONDITIONS. PLANTS SHALL ONLY BE INSTALLED WHEN THE SOIL IS FROST FREE. IN GENERAL, PLANT DURING THE FOLLOWING SEASONS UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT:  

DECIDUOUS TREES AND SHRUBS:  
WHEN PLANTS ARE DORMANT (FALL AND EARLY SPRING).

BROADLEAF EVERGREEN TREES AND SHRUBS:  
WHEN THE FROST LEAVES THE GROUND UNTIL NEW GROWTH IS WELL DEVELOPED (SPRING).

GROUNDCOVER:  
AFTER THE DANGER OF FROST HAS PAST (SPRING UNTIL EARLY SUMMER).
27. PRUNE OUT ONLY DEAD, DECAYED, BROKEN, CROSSING, AND INWARD–GROWING BRANCHES AND BRANCH STUBS. DO NOT CUT LEADERS. MAINTAIN AND/OR IMPROVE THE ATTRACTIVENESS OF EACH PLANT'S FULL FORM, CONSISTENT WITH ITS NATURAL GROWTH HABITS. EXCESSIVELY PRUNED PLANTS WILL BE REJECTED.
28. UNDER NO CIRCUMSTANCES SHOULD THE MAIN LEADER OF A DECIDUOUS OR EVERGREEN TREE BE TOPPED.
29. SHADE TREES LOCATED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BRANCH BELOW 7'.
30. TREES OVER SIX FEET IN HEIGHT ARE TO BE STAKED AT TIME OF INSTALLATION.
31. ALL PLANTS WITHIN CLEAR SIGHT TRIANGLES SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE ELEVATION OF CURB UNLESS OTHERWISE NOTED ON THE PLANS.
32. ALL SHRUB MASSES SHALL FORM PLANTING BEDS AND SHALL BE MULCHED ENTIRELY BETWEEN PLANTS.
33. ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY WITHIN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH 4 INCHES SHREDDED HARDWOOD OR BARK MULCH. MULCH SHALL HAVE BEEN AGED A MINIMUM OF SIX MONTHS.
34. ALL PLANTING BEDS ADJACENT TO LAWN, SOD, OR SEEDED AREAS SHALL BE SPADE EDGED.
35. PLANT MATERIAL SHOWN IN A MASS OR TOUCHING EACH OTHER SHALL BE ALLOWED TO GROW TOGETHER TO PERFORM AS A SCREEN OR A HEDGE. DO NOT PRUNE OR SHEER INTO INDIVIDUAL FREE–STANDING PLANTS.
36. CUT AND REMOVE BURLAP FROM TOP ONE–THIRD OF BALL ONLY IF NON–JUTE ROPING IS USED.
37. GUY WIRES SHALL BE LOCATED BETWEEN FIRST AND SECOND SETS OF BRANCHES. TREE STAKES AND GUY WIRES SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE GROWING SEASON. GUY WIRES SHALL BE LOCATED SO THAT THEY WILL NOT PULL CROTCH APART.
38. PLANTS PLANTED IN ROWS SHALL BE MATCHED SPECIMENS AND BE UNIFORM IN SIZE AND FORM.
39. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON THE SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THESE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
40. THE CONTRACTOR SHALL FERTILIZE ALL PLANT MATERIAL WITH 5–10–5 FERTILIZER, OR APPROVED EQUAL AT THE RATE SPECIFIED BY THE MANUFACTURER. ALL TURF AREAS SHALL BE LIMED AND FERTILIZED APPROPRIATELY FOR THE TYPES OF SOILS ON THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE THE SOIL ACIDITY AND A SOIL TEST CONDUCTED TO ESTABLISH THE SOIL'S LIME AND FERTILIZER RATES.
41. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT SPILLS AND RUNOFF OF EXCESSIVE QUANTITIES OF FERTILIZER, NUTRIENTS AND OTHER CHEMICALS.
42. ALL WATER APPLIED TO PLANTED OR TURF AREAS SHALL BE FREE FROM IMPURITIES HARMFUL TO VEGETATION AND APPLIED AT A RATE OF 5 GALLONS OF WATER PER SQUARE YARD OF PLANT PIT IMMEDIATELY AFTER PLANTING AND INSTALLATION. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE IRRIGATION TO ALL PLANT MATERIALS AND LAWN AREAS INSTALLED AS PART OF THIS CONTRACT DURING THE CONSTRUCTION TIME PERIOD UP TO AND INCLUDING THE TIME PERIOD ESTABLISHED FOR PLANT MATERIAL SURVIVAL GUARANTEE. WATER APPLIED DURING THE GUARANTEE PERIOD SHALL BE AT THE RATE OF 1 INCH OF WATER PER WEEK, WITH AN ALLOWANCE FOR NATURAL PRECIPITATION AND RAINFALL.
43. BACKFILL MATERIAL FOR RAISED PLANT BEDS SHALL SHALL CONSIST OF NATURAL LOAM TOPSOIL, FREE FROM SUBSOIL, AND SHALL BE OBTAINED FROM AN AREA WHICH HAS NEVER BEEN STRIPPED. TOPSOIL SHALL HAVE BEEN REMOVED FROM A DEPTH OF NO MORE THAN 1 FOOT, OR LESS IF SUBSOIL IS ENCOUNTERED. TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY HARD PAN, SODS, PARTIALLY DISINTEGRATED STONE, LIME CEMENT, TAR RESIDUES, CHIPS OR ANY OTHER UNDESIRABLE MATERIAL.
44. ALL PLANTS ARE SHOWN SEMI–MATURE SIZE ON PLANS. SIZES INDICATED IN PLANT LIST ARE SIZES AT TIME OF INSTALLATION.
45. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.
46. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS FROM DATE OF ACCEPTANCE BY THE MUNICIPALITY. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
47. ALL PLANTING DETAILS SHALL CONFORM TO ORDINANCE REQUIREMENTS OF THE MUNICIPALITY.
48. ALL TREE PROTECTION AND REMOVAL ACTIVITIES SHALL COMPLY WITH STATE REGULATIONS AND LOCAL ORDINANCE REQUIREMENTS.
49. THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
50. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
51. THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS.

52. PLANTING PITS SHALL BE MADE TO DRAIN, WHEREVER POOR DRAINAGE CONDITIONS OCCUR AND/OR WHERE DIRECTED BY THE LANDSCAPE ARCHITECT. WHEN APPROVED BY THE LANDSCAPE ARCHITECT, THE DEPTH OF PLANTING PITS MAY BE INCREASED BY 12" THROUGH THE ADDITION OF LOOSE AGGREGATE (3/4" TO 1 1/2" DIAMETER).
53. DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS, NOT INCLUDING TOPSOIL SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE. DISPOSAL SHALL BE IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION, REGULATIONS.
54. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. ANY DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE REFILLED WITH FERTILE, FRIABLE SOIL PLACED AND COMPACTED SO AS TO REESTABLISH PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
55. ALL SOD (IF AND WHERE REQUIRED) SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILIAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, TIGHTLY BUTTED, WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
56. BULBS (IF AND WHERE REQUIRED) SHALL BE IN CONFORMANCE WITH SECTION 11 OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY AMERICAN ASSOCIATION OF NURSERYMEN) STANDARDS.
57. PLANTER SOILS (IF AND WHERE Required) SHALL BE WELL–DRAINING AND FERTILE. SOILS SHALL BE SANDY–LOAM, FRIABLE MIX, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE 20% SAND AND 20% PEAT MIXED WITH 50% SELECTED WELL–DRAINED SOILS FROM THE SITE. BACKFILL SOILS SHALL BE AS NOTED ON THE PLANTING DETAILS.
58. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.



1 PROPOSED EVERGREEN LANDSCAPING DETAIL  
L-2 NTS

ENGINEERING FIRM

APPLICANT

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

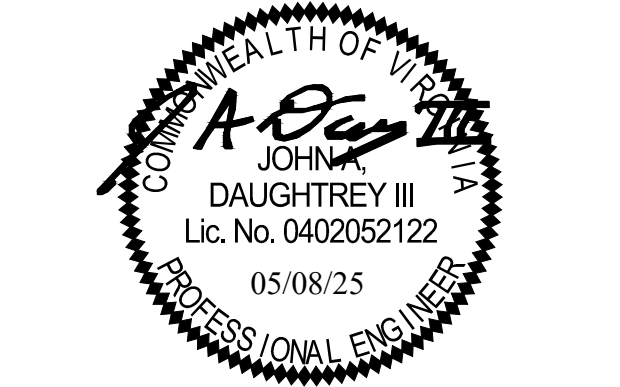
SHEET NUMBER

**NB+C™**  
**TOTALLY COMMITTED.**  
**NB+C ENGINEERING SERVICES, LLC.**  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 548-4079

**verizon**  
1831 RADY COURT  
RICHMOND, VA 23222

FRESHWATER CREEK  
VERIZON RAWLAND  
SITE #: US-VA-5149  
NB+C PROJECT #: 100912  
VA ROUTE 522  
LOUISA, VA 23093  
LOUISA COUNTY

REVISIONS			
2	05/08/25	REVISED	KL.B
1	03/24/25	REVISED	KL.B
0	03/12/25	FINAL ZDS	AA
A	02/24/25	PRELIMINARY ZDS	AA
REV	DATE	DESCRIPTION	BY



JOHN A. DAUGHTREY III, P.E.  
VIRGINIA PROFESSIONAL ENGINEER  
LICENSE #0402052122

LANDSCAPING  
DETAILS & NOTES

L-2